



CITY OF MERCER ISLAND

CITY COUNCIL MEETING AGENDA

Tuesday
May 1, 2018
7:00 PM

Mayor Debbie Bertlin
Deputy Mayor Salim Nice
Councilmembers Tom Acker,
Bruce Bassett, Wendy Weiker,
David Wisenteiner, and Benson Wong

Contact: 206.275.7793, council@mercergov.org
www.mercergov.org/council

All meetings are held in the City Hall Council Chambers at
9611 SE 36th Street, Mercer Island, WA unless otherwise noticed

"Appearances" is the time set aside for members of the public to speak to the City Council about any issues of concern. If you wish to speak, please consider the following points:
(1) speak audibly into the podium microphone, (2) state your name and address for the record, and (3) limit your comments to three minutes.
Please note: the Council does not usually respond to comments during the meeting.

In compliance with the Americans with Disabilities Act, those requiring accommodation for the meeting should notify the City Clerk's Office at least 24 hours prior to the meeting at 206.275.7793.

REGULAR MEETING

CALL TO ORDER & ROLL CALL, 7:00 PM

AGENDA APPROVAL

SPECIAL BUSINESS

- (1) AB 5412 Building Safety Month Proclamation
- (2) AB 5423 Affordable Housing Week Proclamation

CITY MANAGER REPORT

APPEARANCES

CONSENT CALENDAR

- (3) Payables: \$325,072.71 (04/18/2018) & \$489,302.04 (04/26/18)
Payroll: \$851,656.36 (04/27/2018)

REGULAR BUSINESS

- (4) AB 5413 Public Hearing and Preview of the 6-Year Transportation Improvement Program
- (5) AB 5421 Application for Heritage Capital Grant - Luther Burbank Boiler Building Renovation Phase 1

OTHER BUSINESS

Councilmember Absences
Planning Schedule
Board Appointments
Councilmember Reports

ADJOURNMENT



**BUSINESS OF THE CITY COUNCIL
CITY OF MERCER ISLAND, WA**

**AB 5412
May 1, 2018
Special Business**

BUILDING SAFETY MONTH	Action: Proclaim May 2018 as Building Safety Month in the City of Mercer Island	<input type="checkbox"/> Discussion Only <input type="checkbox"/> Action Needed: <input type="checkbox"/> Motion <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution
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DEPARTMENT OF	Development Services Group (Don Cole)
COUNCIL LIAISON	n/a
EXHIBITS	1. Building Safety Month Proclamation
2018-2019 CITY COUNCIL GOAL	3. Sustainability and Livability
APPROVED BY CITY MANAGER	

AMOUNT OF EXPENDITURE	\$	n/a
AMOUNT BUDGETED	\$	n/a
APPROPRIATION REQUIRED	\$	n/a

SUMMARY

Building codes help to protect the community from disasters like fires, earthquakes, weather-related events and structural collapse. The adoption of building codes along with providing for their enforcement are proven and effective methods of safeguarding homes, offices, schools, businesses and other venues. Code officials work diligently with design professionals, builders and homeowners to keep the public safe within the built environment.

In its 38th year, Building Safety Month is a public awareness campaign celebrated worldwide by jurisdictions during the month of May to help individuals, families and businesses understand what it takes to create safe and sustainable structures. The campaign reinforces the need for the adoption of modern, regularly-updated building codes, providing an effective and efficient system of code enforcement, and a well-trained, professional workforce to maintain the system.

Building Safety Month celebrates the importance of building safety, the immense value of safety codes, and the essential role of code officials and construction industry professionals to build safe spaces for people to live, work and play.

To accept the proclamation on behalf of the community, Architect and Mercer Island resident, Michele Marquardi, will be at the meeting.

Michele Marquardi was born in Italy and earned degrees in Surveying and Architecture at Venice, Italy. In Northeastern Italy, he worked in the public sector helping reconstruction efforts following two massive earthquakes that hit the region in 1976. Along with his wife, Lucia Pirzio-Birolii, he moved to Mercer Island

in 1994 and established their architectural firm, Studio Ectypos Architecture. They have a teenage daughter in middle school.

Michele has demonstrated a strong commitment to building safety and through the years, his community volunteer work has included the following:

- Building Board of Appeals – Commissioner
- Design of the Emergency Operations Center at City Hall (Pro bono)
- CERT Post Disaster Damage Assessment Team – Lead Volunteer
- Building Damage Assessment team – Volunteer
- Fine Arts Council – Vice President

RECOMMENDATION

Building Official

MOVE TO: Mayor presents the proclamation and proclaims May 2018 as Building Safety Month in the City of Mercer Island.



City of Mercer Island, Washington

Proclamation

WHEREAS, the safety of our families, community health and economic strength are dependent on the timely maintenance, improvement, and safety of our homes, buildings, and other structures utilized by our citizens in everyday life and in times of natural disaster; and

WHEREAS, the structural integrity and safety of the buildings in our communities and our confidence in them are a result of the devotion of professionals, such as building safety and fire prevention officials, architects, engineers, builders, tradespeople, laborers and others in the construction industry who work year-round to ensure the safe construction of buildings; and

WHEREAS, the International Code Council, a U.S. based organization, brings together members worldwide, experts in the built environment to create and implement the highest-quality codes to protect us in the buildings where we live, learn, work, worship, and play; and

WHEREAS, the City Council has adopted these codes as a measure to mitigate injury and damage due to fires, earthquakes, windstorms, landslides, and to prevent collapse, dangerous electrical installations and other failures that can contribute to injury or even death; and

WHEREAS, "Building Codes Save Lives," the theme for Building Safety Month 2018, encourages appropriate steps towards ensuring that our buildings are safe, recognizing that countless lives have been saved due to the implementation of safety codes by local agencies; and

WHEREAS, each year, in observance of Building Safety Month, Americans are asked to consider a commitment to building safety at home and in their community, and to acknowledge the essential service provided to all of us by professionals who design, build, enforce and adhere to safe building codes.

NOW, THEREFORE, I, Debbie Bertlin, Mayor of the City of Mercer Island, do hereby proclaim May 2018 as:

BUILDING SAFETY MONTH

in the City of Mercer Island, reaffirming our commitment to provide a safe built environment.



APPROVED this 1st day of May 2018

Mayor Debbie Bertlin

Proclamation No. 220



**BUSINESS OF THE CITY COUNCIL
CITY OF MERCER ISLAND, WA**

**AB 5423
May 1, 2018
Special Business**

AFFORDABLE HOUSING WEEK PROCLAMATION	Action: Proclam May 14-18, 2018 as Affordable Housing Week in the City of Mercer Island	<input type="checkbox"/> Discussion Only <input type="checkbox"/> Action Needed: <input type="checkbox"/> Motion <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution
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DEPARTMENT OF	Development Services Group (Alison Van Gorp)
COUNCIL LIAISON	n/a
EXHIBITS	1. Affordable Housing Week Proclamation
2018-2019 CITY COUNCIL GOAL	3. Sustainability and Livability
APPROVED BY CITY MANAGER	

AMOUNT OF EXPENDITURE	\$	n/a
AMOUNT BUDGETED	\$	n/a
APPROPRIATION REQUIRED	\$	n/a

SUMMARY

In King County, May 14-18 is Affordable Housing Week aimed at recognizing the need to preserve and increase affordable housing in King County communities. The issues of affordable housing and homelessness have hit a crisis point in King County communities. Across King County, 127,000 households are paying more than half their income for housing costs, and 5,485 individuals were found sleeping outdoors during the 2017 Point in Time Count. These challenges are touching every corner, every city, every school district of the County. During the 2015-16 school year, 8,107 students across King County were identified as homeless, an 11% increase over the previous year. By increasing attention to this issue and by working together, across communities and across sectors, we can turn the tide to ensure all people have access to a safe, healthy, affordable home.

The Housing Development Consortium (HDC) is an advocate, broker, and convener of [160+ member organizations](#). For three decades, HDC members have worked collaboratively to meet the housing needs of people with limited incomes throughout the region. Each night, 122,900 individuals, 19,700 of whom are children, go home to rental units and affordable homes created or preserved by HDC’s member-based network. By bringing organizations, government agencies, and businesses together around shared values and a commitment to the community, HDC has also become nationally recognized as a leader in affordable housing advocacy. Each year, HDC’s staff, members and supporters stand up to advocate for affordable homes, equitable communities, and an end to homelessness.

Lucia Pirzio-Biroli, an HDC volunteer and a member of the ARCH Citizen Advisory Board, will be in attendance to receive the proclamation on behalf of the community. Lucia is a native of the Northwest and a longtime Mercer Island resident. Lucia and her husband, Michele Marquardi have their architecture practice, Studio Ectypos, on Mercer Island, where they focus on the articulation of regenerative urban and

territorial solutions. Over the last decade and a half Lucia has been focused on sustainability issues that reflect the triple bottom line: Economy, Ecology and Equity. Under the impending population surge and the already evident fallout in the lack of housing, her efforts have shifted to a greater emphasis on equitable housing and the evolution of vibrant diverse communities. Lucia is also a dedicated volunteer for the City, currently serving as a member of the Planning Commission, and having previously served on the Design Commission, the Green Ribbon Commission and as the founder of IslandVision and mastermind behind Leap for Green. Lucia earned her bachelor's in Environmental Design from the University of Colorado, Boulder and her Master of Architecture from the University of Pennsylvania.

RECOMMENDATION

Administrative Services Manager

Mayor presents the proclamation and proclaims May 14-18, 2018 as Affordable Housing Week in the City of Mercer Island.



City of Mercer Island, Washington

Proclamation

WHEREAS, Affordable Housing Week calls attention to the severe challenges of homelessness and the lack of affordable housing in King County.

WHEREAS, in King County, 127,000 households are paying more than half their income for housing costs; and

WHEREAS, in King County, 5,485 individuals were found sleeping outdoors during the 2017 Point in Time Count; and

WHEREAS, in King County, 8,107 students were identified as homeless in the 2015-16 school year, an 11% increase over the prior year; and

WHEREAS, by increasing attention to this issue and by working together, across communities and across sectors, we can turn the tide to ensure all people have access to a safe, healthy, affordable home.

NOW, THEREFORE, I, Debbie Bertlin, Mayor of the City of Mercer Island, do hereby proclaim May 14-18, 2018 as

AFFORDABLE HOUSING WEEK

in the City of Mercer Island and recognize the need to preserve and increase affordable housing in King County communities. Together, we urge all advocates and communities across King County in taking action to elevate understanding of the need for affordable housing and to take time to discuss potential solutions.



HOUSING
DEVELOPMENT
consortium

APPROVED, this 1st day of May, 2018

Mayor Debbie Bertlin

Proclamation No. 221

CERTIFICATION OF CLAIMS

I, the undersigned, do hereby certify under penalty of perjury that the materials have been furnished, the services rendered, or the labor performed as described herein, that any advance payment is due and payable pursuant to a contract or is available as an option for full or partial fulfillment of a contractual obligation, and that the claim is a just, due and unpaid obligation against the City of Mercer Island, and that I am authorized to authenticate and certify to said claim.

Charles L. Corder
Finance Director

I, the undersigned, do hereby certify that the City Council has reviewed the documentation supporting claims paid and approved all checks or warrants issued in payment of claims.

Mayor

Date

<u>Report</u>	<u>Warrants</u>	<u>Date</u>	<u>Amount</u>
Check Register	192374 -192477	4/18/2018	\$ 325,072.71
			\$ 325,072.71

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
<i>Org Key: 001000 - General Fund-Admin Key</i>				
P0097863	00192470	WA ST REVENUE	1ST QTR LEASEHOLD EXCISE TAX 2	2,365.40
P0099018	00192402	HENDRICKS, YVONNE	Withdrew from adult trips.	407.40
P0099019	00192445	RAINBOW MISSIONS	Returning access fee for contr	75.00
P0099083	00192411	ISLANDAIRE HOME OWNERS	FA-0447 rental completed.	50.00
P0099082	00192418	KING CONSERVATION DISTRICT	FA-0761 completed. Returning	50.00
P0099017	00192455	SEATTLE REVOLUTION	Partial credit for light fee	25.00
<i>Org Key: 402000 - Water Fund-Admin Key</i>				
	00192393	DAVENPORT, HELEN	OVERPAYMENT REFUND	518.22
	00192459	SMITH, BETTY J	OVERPAYMENT REFUND	407.79
	00192380	BDR MERCER ISLAND III LLC	OVERPAYMENT REFUND	275.32
P0098978	00192387	CESSCO	INVENTORY PURCHASES	292.51
P0098986	00192374	A.M. LEONARD INC	INVENTORY PURCHASES	234.82
P0098884	00192400	GRAINGER	INVENTORY PURCHASES	179.57
	00192472	WEI, MENGXUAM WENG & YI	OVERPAYMENT REFUND	140.77
<i>Org Key: 814077 - Police Association</i>				
	00192438	POLICE ASSOCIATION	PAYROLL EARLY WARRANTS	2,061.59
<i>Org Key: CA1100 - Administration (CA)</i>				
	00192477	XEROX CORPORATION	PRINTER SUPPLIES	38.68
<i>Org Key: CM1100 - Administration (CM)</i>				
	00192394	DEPT OF ENTERPRISES SERVICES	BUSINESS CARDS APRIL 2018	31.02
<i>Org Key: CM1200 - City Clerk</i>				
P0099006	00192461	SOUND PUBLISHING INC	Ntc: Ord #18C-01 2087599 3/14	52.11
<i>Org Key: CR1100 - COrre Admin and Human Resources</i>				
	00192465	TAWNEY, LAURA	EXPENSES FOR TRAVEL	696.05
P0099089	00192440	PUBLIC SAFETY TESTING INC	Q1 Jan-Mar 2018 Subscription F	424.00
P0099044	00192440	PUBLIC SAFETY TESTING INC	1st Qtr. 2018 FF Recruit Conso	300.00
	00192465	TAWNEY, LAURA	PER DIEM REIMB	239.85
	00192389	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2018	149.20
P0099063	00192409	IPMA-HR	Indiv Subscription 7/2018 - 6/	109.00
	00192477	XEROX CORPORATION	PRINTER SUPPLIES	12.00
<i>Org Key: CT1100 - Municipal Court</i>				
P0098886	00192476	XEROX CORPORATION	Xerox - invoice 092823028	154.50
P0099045	00192406	INTERCOM LANGUAGE SERVICES INC	Interpreter 4/9/18 : invoice #	130.00
<i>Org Key: DS0000 - Development Services-Revenue</i>				
P0099025	00192381	BELLEVUE, CITY OF	Quarterly MBP Surcharge	10,020.25
<i>Org Key: DS1100 - Administration (DS)</i>				
P0099006	00192461	SOUND PUBLISHING INC	Ntc: CAO RFP 2075027 3/7	72.85
P0099006	00192461	SOUND PUBLISHING INC	Ntc: ZTR18-001 2087416 3/14	57.30
P0099006	00192461	SOUND PUBLISHING INC	Ntc: ZTR18-0003 2087577 3/14	57.30
	00192477	XEROX CORPORATION	PRINTER SUPPLIES	38.70
<i>Org Key: DS1300 - Land Use Planning Svc</i>				
	00192389	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2018	89.64

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
<i>Org Key: FN0000 - Finance Department-Revenue</i>				
	00192410	ISLAND DERMATOLOGY LLC	BUSINESS LICENSE REFUND	30.00
<i>Org Key: FN1100 - Administration (FN)</i>				
	00192389	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2018	405.81
	00192477	XEROX CORPORATION	PRINTER SUPPLIES	24.00
<i>Org Key: FN4502 - Utility Billing (Sewer)</i>				
P0098864	00192415	KC RECORDER	SEWER LIENS	68.00
<i>Org Key: FNBE01 - Financial Services</i>				
P0099077	00192430	METROPRESORT	Printing and Mailing 2018 Quar	195.51
<i>Org Key: FR1100 - Administration (FR)</i>				
P0098994	00192463	SYSTEMS DESIGN WEST LLC	Transport Billing Fees	1,043.33
P0097793	00192388	COMCAST	FIRE STATION 92 FIBER CIRCUIT	409.75
P0099042	00192450	RICOH USA INC (FIRE)	Copier Rental/Fire	320.87
P0099038	00192405	IAFC MEMBERSHIP	2018 Dues	304.00
P0099036	00192391	CULLIGAN SEATTLE WA	Water Service/Fire	207.46
	00192385	CENTURYLINK	PHONE USE APRIL 2018	169.60
P0098990	00192378	ASPECT SOFTWARE INC	Telestaff Monthly Fees	165.00
P0099032	00192429	MERCER ISLAND REPORTER	2018 Subscription/MIFD	59.00
	00192477	XEROX CORPORATION	PRINTER SUPPLIES	50.69
<i>Org Key: FR2100 - Fire Operations</i>				
P0098996	00192448	REDMOND, CITY OF	1st Qtr 2018 Apparatus Maint.	5,076.58
P0097864	00192398	EPSCA	MONTHLY RADIO ACCESS FEES 44 R	1,111.00
P0098995	00192404	HUGHES FIRE EQUIPMENT INC	8611 Repairs (Door Module, Fue	957.17
P0099043	00192399	FIRST RESPONSE EMERGENCY EQUPT	5 Vest/1MSA Hard Hat	204.99
P0097864	00192398	EPSCA	2018 QTLY ACCESS FEE REBATE FI	-582.12
<i>Org Key: FR2400 - Fire Suppression</i>				
P0099039	00192454	SEA WESTERN INC	Batteries for MSA	144.93
<i>Org Key: FR2500 - Fire Emergency Medical Svcs</i>				
P0098991	00192424	LIFE ASSIST INC	Aid Supplies	326.67
P0099035	00192376	AIRGAS USA LLC	Oxygen/Fire	141.45
<i>Org Key: FR4100 - Training</i>				
P0099041	00192417	KCFTOA	Special Dues Assessment	300.00
<i>Org Key: FR5100 - Community Risk Reduction</i>				
P0099037	00192408	INTL ASSOC OF ARSON INV	FI Dues/Bastrom and Mair	280.00
P0099040	00192407	INTERNATIONAL CODE COUNCIL INC	Fire Marshal Subscription 2018	135.00
<i>Org Key: GGM001 - General Government-Misc</i>				
P0098868	00192439	PROJECT A INC	Intranet Annual Support Fee	3,000.00
P0099084	00192416	KC TREASURY	2018 REAL ESTATE TAX	1,341.87
P0097793	00192388	COMCAST	CITY HALL BACKUP INTERNET	846.65
P0099024	00192396	DUNBAR ARMORED	April 18 Armored Car Service	597.36
<i>Org Key: GGM004 - Gen Govt-Office Support</i>				
	00192389	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2018	486.69
	00192389	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2018	362.96

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
	00192389	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2018	134.94
	00192477	XEROX CORPORATION	PRINTER SUPPLIES	50.70
<i>Org Key: GGM005 - Genera Govt-L1 Retiree Costs</i>				
	00192422	LEOFF HEALTH & WELFARE TRUST	POLICE RETIREES APRIL 2018	5,722.50
	00192421	LEOFF HEALTH & WELFARE TRUST	FIRE RETIREES APRIL 2018	3,828.91
P0099059	00192395	DEVENY, JAN P	LEOFF1 Retiree Medical Expense	760.49
P0099087	00192426	LYONS, STEVEN	FRLEOFF1 Retiree Medical Expen	595.00
P0099065	00192423	LEOPOLD, FREDERIC	LEOFF1 Retiree Medical Expense	502.65
P0099062	00192447	RAMSAY, JON	FRLEOFF1 Retiree Medical Expen	172.82
P0099064	00192474	WHEELER, DENNIS	LEOFF1 Retiree Medical Expense	90.67
P0099066	00192423	LEOPOLD, FREDERIC	LEOFF1 Retiree Medical Expense	62.79
P0099061	00192460	SMITH, RICHARD	LEOFF1 Retiree Medical Expense	58.91
P0099060	00192397	ELSOE, RONALD	LEOFF1 Retiree Medical Expense	46.31
P0099066	00192423	LEOPOLD, FREDERIC	LEOFF1 Retiree Medical Expense	25.00
<i>Org Key: GX9996 - Employee Benefits-Police</i>				
	00192422	LEOFF HEALTH & WELFARE TRUST	REGENCE POLICE APRIL 2018	49,224.74
	00192422	LEOFF HEALTH & WELFARE TRUST	REGENS POLICE RECOR APRIL 2018	6,157.33
<i>Org Key: GX9997 - Employee Benefits-Fire</i>				
	00192421	LEOFF HEALTH & WELFARE TRUST	FIRE RETIREES APRIL 2018	55,294.64
<i>Org Key: IS2100 - IGS Network Administration</i>				
P0098911	00192383	CDW GOVERNMENT INC	Annual VMWare Support	7,436.00
P0098733	00192383	CDW GOVERNMENT INC	RSA Renewal 1 yr	994.62
	00192385	CENTURYLINK	PHONE USE APRIL 2018	489.55
P0099054	00192375	ACCESS	BLACK BOX PICK UP AND DELIVERY	434.94
P0098982	00192433	MORGAN SOUND INC	Service Call 3-5-2018 Verify	233.75
P0098984	00192433	MORGAN SOUND INC	Service Call 2-7-2018 Troubles	233.75
P0098344	00192383	CDW GOVERNMENT INC	Additional 5 Software Tokens 3	213.40
P0098985	00192433	MORGAN SOUND INC	Service Call 1-31-2018 MICC to	140.25
P0098983	00192433	MORGAN SOUND INC	Service Call 3-13-2018 Camera	140.25
P0099050	00192475	WIMACTEL INC	POLICE LOBBY PAY PHONE	60.50
	00192477	XEROX CORPORATION	PRINTER SUPPLIES	12.00
<i>Org Key: MT2100 - Roadway Maintenance</i>				
	00192444	PUGET SOUND ENERGY	ENERGY USE APRIL 2018	3,518.17
P0098977	00192420	LAKESIDE INDUSTRIES	CLASS B ASPHALT (1 TON) & LIQU	138.60
P0098949	00192384	CEDAR GROVE COMPOSTING INC	3-WAY TOPSOIL (25 YDS)	129.25
	00192389	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2018	94.25
P0098885	00192464	TACOMA SCREW PRODUCTS INC	5/16" X 2" GALV. LAG SCREWS (2	40.84
<i>Org Key: MT2300 - Planter Bed Maintenance</i>				
P0099022	00192431	MI UTILITY BILLS	PAYMENT OF UTILITY BILLS FOR W	474.33
P0099026	00192403	HOME DEPOT CREDIT SERVICE	PLANTER CONTAINERS	196.99
<i>Org Key: MT3000 - Water Service Upsizes and New</i>				
P0098885	00192464	TACOMA SCREW PRODUCTS INC	NUTS & BOLTS FOR WATER METERS	117.46
<i>Org Key: MT3100 - Water Distribution</i>				
P0099022	00192431	MI UTILITY BILLS	PAYMENT OF UTILITY BILLS FOR W	1,475.56

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
<i>Org Key: MT3150 - Water Quality Event</i>				
P0098976	00192401	HACH COMPANY	POCKET COLORIMETER II (CHLORIN	537.63
<i>Org Key: MT3200 - Water Pumps</i>				
	00192385	CENTURYLINK	PHONE USE APRIL 2018	238.76
<i>Org Key: MT3400 - Sewer Collection</i>				
P0099022	00192431	MI UTILITY BILLS	PAYMENT OF UTILITY BILLS FOR W	702.65
<i>Org Key: MT3500 - Sewer Pumps</i>				
	00192386	CENTURYLINK BUSINESS SERVICES	PHONE USE APRIS 2018	3,605.07
<i>Org Key: MT3800 - Storm Drainage</i>				
P0099022	00192431	MI UTILITY BILLS	PAYMENT OF UTILITY BILLS FOR W	70.27
<i>Org Key: MT4150 - Support Services - Clearing</i>				
P0098168	00192476	XEROX CORPORATION	2018 PW BASE AND METER COPY CH	531.97
	00192477	XEROX CORPORATION	PRINTER SUPPLIES	141.24
	00192389	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2018	93.89
P0097864	00192398	EPSCA	MONTHLY RADIO ACCESS FEES 1 RA	25.25
P0097864	00192398	EPSCA	2018 QTLY ACCESS FEE REBATE PU	-13.23
<i>Org Key: MT4200 - Building Services</i>				
P0099022	00192431	MI UTILITY BILLS	PAYMENT OF UTILITY BILLS FOR W	6,633.59
P0098935	00192446	RAINIER BUILDING SERVICES	JANITORIAL SERVICES CITY BLDGS	5,126.11
P0099023	00192446	RAINIER BUILDING SERVICES	FLOOR WAXING CITY BLDGS	1,088.00
P0099051	00192469	WA ST DEPT OF LABOR & INDUST	FS92 CHAIR LIFT OPERATING PERM	69.10
<i>Org Key: MT4210 - Building Landscaping</i>				
P0097982	00192432	MONARCH LANDSCAPING WA LLC	City Hall, FS91, FS 92 &	2,623.09
<i>Org Key: MT4420 - Transportation Planner Eng</i>				
P0099006	00192461	SOUND PUBLISHING INC	Ntc: TIP Pub Hrg 2048366 3/21	67.15
P0099006	00192461	SOUND PUBLISHING INC	Ntc: TIP Pub Hrg 2048366 3/14	46.15
<i>Org Key: MTBE01 - Maint of Medians & Planters</i>				
P0099022	00192431	MI UTILITY BILLS	PAYMENT OF UTILITY BILLS FOR W	93.57
<i>Org Key: PO1100 - Administration (PO)</i>				
	00192389	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2018	259.31
	00192477	XEROX CORPORATION	PRINTER SUPPLIES	145.31
<i>Org Key: PO1350 - Police Emergency Management</i>				
P0097864	00192398	EPSCA	MONTHLY RADIO ACCESS FEES 13 R	328.25
P0097864	00192398	EPSCA	2018 QTLY ACCESS FEE REBATE EM	-171.99
<i>Org Key: PO1650 - Regional Radio Operations</i>				
P0097864	00192398	EPSCA	MONTHLY RADIO ACCESS FEES 57 R	1,439.25
P0097864	00192398	EPSCA	2018 QTLY ACCESS FEE REFUND PO	-754.11
<i>Org Key: PO1700 - Records and Property</i>				
P0098875	00192477	XEROX CORPORATION	Admin Copier - Invoice # 09282	376.08
P0098875	00192477	XEROX CORPORATION	Records Copier - Invoice #	207.14
	00192477	XEROX CORPORATION	PRINTER SUPPLIES	12.00
	00192389	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2018	8.95

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
<i>Org Key: PO1900 - Jail/Home Monitoring</i>				
P0099047	00192453	SCORE	March 2018 Jail Fees - Invoice	3,850.00
<i>Org Key: PO2100 - Patrol Division</i>				
P0099068	00192471	WATCHGUARD VIDEO	Shipping costs for replacement	77.00
	00192394	DEPT OF ENTERPRISES SERVICES	BUSINESS CARDS APRIL 2018	31.02
<i>Org Key: PO2200 - Marine Patrol</i>				
P0099049	00192473	WEST MARINE PRO	Marine Patrol Supplies - Invoi	27.46
<i>Org Key: PO2201 - Dive Team</i>				
P0099046	00192468	US HEALTHWORKS MED GROUP WA	Dive Physical for FF White -	275.00
P0099048	00192467	UNDERWATER SPORTS INC.	Repair of Dive Team Equipment	114.29
P0099048	00192467	UNDERWATER SPORTS INC.	Repair of Dive Team Equipment	100.98
<i>Org Key: PO3100 - Investigation Division</i>				
P0099000	00192466	THOMSON REUTERS - WEST	Detective Search product - Inv	318.55
<i>Org Key: PO4100 - Firearms Training</i>				
P0099078	00192458	SKAGIT SHOOTING SPORTS INC	Training ammunition	1,085.00
<i>Org Key: PO4300 - Police Training</i>				
P0099067	00192457	SIERRA-PACIFIC SOFTWARE LLC	Annual Maintenance and Support	279.00
<i>Org Key: PR0000 - Parks & Recreation-Revenue</i>				
P0097863	00192470	WA ST REVENUE	1ST QTR LEASEHOLD EXCISE TAX 2	2,620.48
<i>Org Key: PR1100 - Administration (PR)</i>				
P0098987	00192390	CONSOLIDATED PRESS	Looking Ahead Sr Adult Program	1,556.05
P0097792	00192477	XEROX CORPORATION	Lease and print/copy charges f	372.81
P0097873	00192476	XEROX CORPORATION	2018 - Lease charges for LB Ad	144.30
	00192389	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2018	116.50
	00192385	CENTURYLINK	PHONE USE APRIL 2018	51.70
	00192389	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2018	42.09
	00192394	DEPT OF ENTERPRISES SERVICES	BUSINESS CARDS APRIL 2018	31.02
P0097873	00192476	XEROX CORPORATION	Use charge 2-23-18 to 3-23-18	9.49
<i>Org Key: PR1500 - Urban Forest Management</i>				
P0097330	00192432	MONARCH LANDSCAPING WA LLC	Mercer Island Parks Winter 201	420.50
<i>Org Key: PR2100 - Recreation Programs</i>				
P0098930	00192435	PARENTMAP	Web add for March	650.00
	00192477	XEROX CORPORATION	PRINTER SUPPLIES	11.99
<i>Org Key: PR2104 - Special Events</i>				
P0099005	00192377	ANDERSON, LORENTZ E	Entertainment for Leap For Gre	200.00
<i>Org Key: PR2108 - Health and Fitness</i>				
P0099004	00192452	ROSENSTEIN, SUSIE	Instructor fees - Course #1747	480.00
P0099004	00192452	ROSENSTEIN, SUSIE	Instructor Fees - course #1747	390.00
P0099004	00192452	ROSENSTEIN, SUSIE	Instructor fees - course #1748	180.00
<i>Org Key: PR3500 - Senior Services</i>				
P0099016	00192392	DATAQUEST LLC	Background checks for new hire	21.50

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
P0097868	00192427	M & M BALLOON CO	Helium Tank rental for MICEC	18.15
<i>Org Key: PR4100 - Community Center</i>				
	00192444	PUGET SOUND ENERGY	ENERGY USE APRIL 2018	4,916.40
P0099022	00192431	MI UTILITY BILLS	PAYMENT OF UTILITY BILLS FOR W	4,018.59
P0098935	00192446	RAINIER BUILDING SERVICES	JANITORIAL SERVICES CITY BLDGS	2,496.77
P0097982	00192432	MONARCH LANDSCAPING WA LLC	MICEC - 2018 Landscape Mainten	1,383.69
P0099011	00192433	MORGAN SOUND INC	InFSP-Lamp-082 replacement lam	889.96
P0099023	00192446	RAINIER BUILDING SERVICES	FLOOR WAXING CITY BLDGS	740.00
P0099024	00192396	DUNBAR ARMORED	April 18 Armored Car Service	597.36
P0099052	00192419	LAKESIDE DOORS INC	ALIGN & LUBE P&R DOOR	370.70
P0097878	00192476	XEROX CORPORATION	2018 Lease charges for MICEC C	267.20
P0097878	00192476	XEROX CORPORATION	Use charge 2-21-18 to 3-21-18	227.12
P0098942	00192400	GRAINGER	3 packages of liquid body soap	226.97
	00192389	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2018	78.32
	00192477	XEROX CORPORATION	PRINTER SUPPLIES	70.62
P0099012	00192449	REPUBLIC SERVICES #172	Pickup Service 3/13/18-3/31/18	20.78
<i>Org Key: PR6100 - Park Maintenance</i>				
P0099021	00192431	MI UTILITY BILLS	PAYMENT OF UTILITY BILLS FOR W	1,273.34
P0098949	00192384	CEDAR GROVE COMPOSTING INC	LANDSCAPE MULCH (30 YDS)	1,173.16
P0099029	00192436	PART WORKS INC., THE	VALVE REPAIR KIT & PUSH BUTTOM	290.17
P0098826	00192462	SOUND SAFETY PRODUCTS	RAINBIBS	51.99
P0098978	00192387	CESSCO	SHARPEN MOWER BLADES	32.84
P0098826	00192462	SOUND SAFETY PRODUCTS	RAINBIBS	27.52
P0099016	00192392	DATAQUEST LLC	Background checks for new hire	21.50
	00192477	XEROX CORPORATION	PRINTER SUPPLIES	12.00
<i>Org Key: PR6200 - Athletic Field Maintenance</i>				
P0099021	00192431	MI UTILITY BILLS	PAYMENT OF UTILITY BILLS FOR W	1,535.32
P0099020	00192382	BSN SPORT INC	DIAMONDTURF HOME PLATE MAT	297.55
	00192385	CENTURYLINK	PHONE USE APRIL 2018	86.34
<i>Org Key: PR6500 - Luther Burbank Park Maint.</i>				
P0099021	00192431	MI UTILITY BILLS	PAYMENT OF UTILITY BILLS FOR W	2,287.91
P0098935	00192446	RAINIER BUILDING SERVICES	JANITORIAL SERVICES CITY BLDGS	2,151.25
P0099023	00192446	RAINIER BUILDING SERVICES	FLOOR WAXING CITY BLDGS	272.00
P0099016	00192392	DATAQUEST LLC	Background checks for new hire	21.50
<i>Org Key: PR6600 - Park Maint-School Related</i>				
P0099030	00192425	LLOYD ENTERPRISES INC	PLAYFIELD SAND (31.95 TONS)	749.30
P0099020	00192382	BSN SPORT INC	DIAMONDTURF HOME PLATE MAT	297.53
P0099027	00192403	HOME DEPOT CREDIT SERVICE	MISC. HARDWARE	128.61
<i>Org Key: PR6700 - I90 Park Maintenance</i>				
P0099021	00192431	MI UTILITY BILLS	PAYMENT OF UTILITY BILLS FOR W	932.18
P0098949	00192384	CEDAR GROVE COMPOSTING INC	3-WAY TOPSOIL (25 YDS)	258.50
	00192412	JOHNSON, BRADLEY	CDL ENDORSEMENT RENEWAL	102.00
<i>Org Key: ST0002 - ST Long Term Parking</i>				
P0099007	00192428	MCKEE APPRAISAL REAL ESTATE	Appraisal (McKee Reference #38)	6,500.00
<i>Org Key: WG110T - Computer Equip Replacements</i>				

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PO #	Check #	Vendor:	Transaction Description	Check Amount
P0098748	00192456	SHI INTERNATIONAL CORP	2018 Desktop Replacements 24 U	20,955.00
P0098634	00192456	SHI INTERNATIONAL CORP	Graphics Cards for Advanced	2,329.36
P0098813	00192379	ASTRAL COMMUNICATIONS INC	CradlePoint IBR900LP6 Modem IG	1,194.60
P0099053	00192433	MORGAN SOUND INC	INSTALLATION LABOR/CABLING &	215.05
<i>Org Key: WP113R - South Mercer Playfields</i>				
P0098949	00192384	CEDAR GROVE COMPOSTING INC	3-WAY TOPSOIL (25 YDS)	258.50
<i>Org Key: WP122P - Open Space - Pioneer/Engstrom</i>				
P0098275	00192451	ROOT CAUSE LLC	Pioneer Park Vegetation Work 2	23,630.25
<i>Org Key: WP122R - Vegetation Management</i>				
P0098276	00192451	ROOT CAUSE LLC	Upper Luther Burbank Park	8,947.66
P0097330	00192432	MONARCH LANDSCAPING WA LLC	Mercer Island Parks Winter 201	166.00
P0099016	00192392	DATAQUEST LLC	Background checks for new hire	73.00
<i>Org Key: WP710C - Street End - Lincoln Landing</i>				
P0095391	00192437	PND ENGINEERS INC	Lincoln Landing Design Enginee	9,697.02
<i>Org Key: WP720R - Recurring Park Projects</i>				
P0097330	00192432	MONARCH LANDSCAPING WA LLC	Mercer Island Parks Winter 201	356.60
<i>Org Key: WS712P - Pump Sta/Lake Line Access Eval</i>				
P0099006	00192461	SOUND PUBLISHING INC	Ntc: Sewer Lk Line RFQ 2075043	293.21
<i>Org Key: XP710R - Luther BB Minor Capital LEVY</i>				
P0097330	00192432	MONARCH LANDSCAPING WA LLC	Mercer Island Parks Winter 201	445.60
<i>Org Key: YF1100 - YFS General Services</i>				
	00192389	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2018	493.78
P0097792	00192477	XEROX CORPORATION	Lease and print/copy charges f	482.16
P0099024	00192396	DUNBAR ARMORED	April 18 Armored Car Service	280.64
	00192389	COMPLETE OFFICE	OFFICE SUPPLIES MARCH 2018	264.68
P0097715	00192477	XEROX CORPORATION	Lease & overage charges for b/	191.36
	00192394	DEPT OF ENTERPRISES SERVICES	BUSINESS CARDS APRIL 2018	62.05
	00192477	XEROX CORPORATION	PRINTER SUPPLIES	12.00
<i>Org Key: YF1200 - Thrift Shop</i>				
P0098935	00192446	RAINIER BUILDING SERVICES	JANITORIAL SERVICES CITY BLDGS	2,184.74
P0099022	00192431	MI UTILITY BILLS	PAYMENT OF UTILITY BILLS FOR W	625.19
P0099024	00192396	DUNBAR ARMORED	April 18 Armored Car Service	598.89
P0099023	00192446	RAINIER BUILDING SERVICES	FLOOR WAXING CITY BLDGS	355.00
P0097982	00192432	MONARCH LANDSCAPING WA LLC	Thriftshop- 2018 Landscape	254.27
	00192385	CENTURYLINK	PHONE USE APRIL 2018	165.64
	00192477	XEROX CORPORATION	PRINTER SUPPLIES	70.62
<i>Org Key: YF2500 - Family Counseling</i>				
	00192413	JOHNSON, KARLENE	TRAINING EXPENSE	600.00
<i>Org Key: YF2600 - Family Assistance</i>				
P0097798	00192414	KC HOUSING AUTHORITY	Rental assistance for Emergenc	533.00
P0097804	00192441	PUGET SOUND ENERGY	Utility Assistance for Emergen	125.97
P0097804	00192442	PUGET SOUND ENERGY	Utility Assistance for Emergen	38.69
P0097804	00192443	PUGET SOUND ENERGY	Utility Assistance for Emergen	16.94

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PO #	Check #	Vendor:	Transaction Description	Check Amount
<i>Org Key: YF2800 - Fed Drug Free Communities Gran</i>				
P0099014	00192434	MURPHY, RORY	Honoraium for participation on	100.00
Total				<u>325,072.71</u>

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00192374	04/18/2018	A.M. LEONARD INC INVENTORY PURCHASES	P0098986	CI18043803	03/27/2018	234.82
00192375	04/18/2018	ACCESS BLACK BOX PICK UP AND DELIVERY	P0099054	2551043	03/31/2018	434.94
00192376	04/18/2018	AIRGAS USA LLC Oxygen/Fire	P0099035	9952619048	03/31/2018	141.45
00192377	04/18/2018	ANDERSON, LORENTZ E Entertainment for Leap For Gre	P0099005	OH009739	04/14/2018	200.00
00192378	04/18/2018	ASPECT SOFTWARE INC Telestaff Monthly Fees	P0098990	ASI038701	04/05/2018	165.00
00192379	04/18/2018	ASTRAL COMMUNICATIONS INC CradlePoint IBR900LP6 Modem IG	P0098813	172322	04/03/2018	1,194.60
00192380	04/18/2018	BDR MERCER ISLAND III LLC OVERPAYMENT REFUND		OH009728	04/06/2018	275.32
00192381	04/18/2018	BELLEVUE, CITY OF Quarterly MBP Surcharge	P0099025	32963	03/29/2018	10,020.25
00192382	04/18/2018	BSN SPORT INC DIAMONDTURF HOME PLATE MAT GRE	P0099020	901742398	03/06/2018	595.08
00192383	04/18/2018	CDW GOVERNMENT INC RSA Renewal 1 yr	P0098344	MGL6967	04/02/2018	8,644.02
00192384	04/18/2018	CEDAR GROVE COMPOSTING INC 3-WAY TOPSOIL (25 YDS)	P0098949	0000385575	04/04/2018	1,819.41
00192385	04/18/2018	CENTURYLINK PHONE USE APRIL 2018		OH009735	04/01/2018	1,201.59
00192386	04/18/2018	CENTURYLINK BUSINESS SERVICES PHONE USE APRIS 2018		OH009736	04/30/2018	3,605.07
00192387	04/18/2018	CESSCO INVENTORY PURCHASES	P0098978	8491	04/02/2018	325.35
00192388	04/18/2018	COMCAST FIRE STATION 92 FIBER CIRCUIT	P0097793	63689898	04/01/2018	1,256.40
00192389	04/18/2018	COMPLETE OFFICE OFFICE SUPPLIES MARCH 2018		OH009738	03/31/2018	3,081.01
00192390	04/18/2018	CONSOLIDATED PRESS Looking Ahead Sr Adult Program	P0098987	20898	03/30/2018	1,556.05
00192391	04/18/2018	CULLIGAN SEATTLE WA Water Service/Fire	P0099036	201804672721	03/31/2018	207.46
00192392	04/18/2018	DATAQUEST LLC Background checks for new hire	P0099016	5111	03/31/2018	137.50
00192393	04/18/2018	DAVENPORT, HELEN OVERPAYMENT REFUND		OH009732	04/12/2018	518.22
00192394	04/18/2018	DEPT OF ENTERPRISES SERVICES BUSINESS CARDS APRIL 2018		73174157	04/03/2018	155.11
00192395	04/18/2018	DEVENY, JAN P LEOFF1 Retiree Medical Expense	P0099059	OH009761	04/16/2018	760.49
00192396	04/18/2018	DUNBAR ARMORED April 18 Armored Car Service	P0099024	4174983	04/01/2018	2,074.25
00192397	04/18/2018	ELSOE, RONALD LEOFF1 Retiree Medical Expense	P0099060	OH009760	04/16/2018	46.31
00192398	04/18/2018	EPSCA MONTHLY RADIO ACCESS FEES 44 R	P0097864	9286	04/02/2018	1,382.30
00192399	04/18/2018	FIRST RESPONSE EMERGENCY EQUPT 5 Vest/1MSA Hard Hat	P0099043	5364	03/27/2018	204.99

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00192400	04/18/2018	GRAINGER INVENTORY PURCHASES	P0098942	9748736809	04/05/2018	406.54
00192401	04/18/2018	HACH COMPANY POCKET COLORIMETER II (CHLORIN	P0098976	10902608	04/02/2018	537.63
00192402	04/18/2018	HENDRICKS, YVONNE Withdrew from adult trips.	P0099018	OH009740	04/08/2018	407.40
00192403	04/18/2018	HOME DEPOT CREDIT SERVICE PLANTER CONTAINERS	P0099027	0120376270423	04/12/2018	325.60
00192404	04/18/2018	HUGHES FIRE EQUIPMENT INC 8611 Repairs (Door Module, Fue	P0098995	524028	04/05/2018	957.17
00192405	04/18/2018	IAFC MEMBERSHIP 2018 Dues	P0099038	OH009741	04/13/2018	304.00
00192406	04/18/2018	INTERCOM LANGUAGE SERVICES INC Interpreter 4/9/18 : invoice #	P0099045	18134	04/13/2018	130.00
00192407	04/18/2018	INTERNATIONAL CODE COUNCIL INC Fire Marshal Subscription 2018	P0099040	3193198	03/12/2018	135.00
00192408	04/18/2018	INTL ASSOC OF ARSON INV FI Dues/Bastrom and Mair	P0099037	122641/122662	03/23/2018	280.00
00192409	04/18/2018	IPMA-HR Indiv Subscription 7/2018 - 6/	P0099063	36103B1Z4G2	04/02/2018	109.00
00192410	04/18/2018	ISLAND DERMATOLOGY LLC BUSINESS LICENSE REFUND		OH009729	04/06/2018	30.00
00192411	04/18/2018	ISLANDAIRE HOME OWNERS FA-0447 rental completed.	P0099083	FA0447	04/17/2018	50.00
00192412	04/18/2018	JOHNSON, BRADLEY CDL ENDORSEMENT RENEWAL		OH009725	04/12/2018	102.00
00192413	04/18/2018	JOHNSON, KARLENE TRAINING EXPENSE		OH009726	04/11/2018	600.00
00192414	04/18/2018	KC HOUSING AUTHORITY Rental assistance for Emergenc	P0097798	OH009751	04/17/2018	533.00
00192415	04/18/2018	KC RECORDER SEWER LIENS	P0098864	OH009660	04/30/2018	68.00
00192416	04/18/2018	KC TREASURY 2018 REAL ESTATE TAX	P0099084	OH009750	04/17/2018	1,341.87
00192417	04/18/2018	KCFTOA Special Dues Assessment	P0099041	6756	04/04/2018	300.00
00192418	04/18/2018	KING CONSERVATION DISTRICT FA-0761 completed. Returning	P0099082	FA0761	04/17/2018	50.00
00192419	04/18/2018	LAKESIDE DOORS INC ALIGN & LUBE P&R DOOR	P0099052	7006	04/11/2018	370.70
00192420	04/18/2018	LAKESIDE INDUSTRIES CLASS B ASPHALT (1 TON) & LIQU	P0098977	41290	03/10/2018	138.60
00192421	04/18/2018	LEOFF HEALTH & WELFARE TRUST FIRE RETIREES APRIL 2018		OH009723	04/17/2018	59,123.55
00192422	04/18/2018	LEOFF HEALTH & WELFARE TRUST POLICE RETIREES APRIL 2018		OH009724	04/17/2018	61,104.57
00192423	04/18/2018	LEOPOLD, FREDERIC LEOFF1 Retiree Medical Expense	P0099065	OH009756	04/16/2018	590.44
00192424	04/18/2018	LIFE ASSIST INC Aid Supplies	P0098991	848748	04/02/2018	326.67
00192425	04/18/2018	LLOYD ENTERPRISES INC PLAYFIELD SAND (31.95 TONS)	P0099030	3305511	04/04/2018	749.30

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00192426	04/18/2018	LYONS, STEVEN FRLEOFF1 Retiree Medical Expen	P0099087	OH009762	04/18/2018	595.00
00192427	04/18/2018	M & M BALLOON CO Helium Tank rental for MICEC	P0097868	33619	04/01/2018	18.15
00192428	04/18/2018	MCKEE APPRAISAL REAL ESTATE Appraisal (McKee Reference #38	P0099007	38071	04/09/2018	6,500.00
00192429	04/18/2018	MERCER ISLAND REPORTER 2018 Subscription/MIFD	P0099032	OH009745	01/05/2018	59.00
00192430	04/18/2018	METROPRESORT Printing and Mailing 2018 Quar	P0099077	501081	04/11/2018	195.51
00192431	04/18/2018	MI UTILITY BILLS PAYMENT OF UTILITY BILLS FOR W	P0099022	OH009742	03/31/2018	20,122.50
00192432	04/18/2018	MONARCH LANDSCAPING WA LLC City Hall, FS91, FS 92 &	P0097982	43484/5/6/7/8	04/01/2018	5,649.75
00192433	04/18/2018	MORGAN SOUND INC Service Call 3-5-2018 Verify	P0099053	MSI094874	03/26/2018	1,853.01
00192434	04/18/2018	MURPHY, RORY Honoraum for participation on	P0099014	OH009744	04/06/2018	100.00
00192435	04/18/2018	PARENTMAP Web add for March	P0098930	2018CI1141	03/31/2018	650.00
00192436	04/18/2018	PART WORKS INC., THE VALVE REPAIR KIT & PUSH BUTTOM	P0099029	INV24620/25258	03/23/2018	290.17
00192437	04/18/2018	PND ENGINEERS INC Lincoln Landing Design Enginee	P0095391	18030133	03/19/2018	9,697.02
00192438	04/18/2018	POLICE ASSOCIATION PAYROLL EARLY WARRANTS		OH009727	04/13/2018	2,061.59
00192439	04/18/2018	PROJECT A INC Intranet Annual Support Fee	P0098868	18888	04/01/2018	3,000.00
00192440	04/18/2018	PUBLIC SAFETY TESTING INC 1st Qtr. 2018 FF Recruit Conso	P0099089	20188220	04/04/2018	724.00
00192441	04/18/2018	PUGET SOUND ENERGY Utility Assistance for Emergen	P0097804	OH009746	04/11/2018	125.97
00192442	04/18/2018	PUGET SOUND ENERGY Utility Assistance for Emergen	P0097804	OH009753	04/17/2018	38.69
00192443	04/18/2018	PUGET SOUND ENERGY Utility Assistance for Emergen	P0097804	OH009752	04/17/2018	16.94
00192444	04/18/2018	PUGET SOUND ENERGY ENERGY USE APRIL 2018		OH009737	04/02/2018	8,434.57
00192445	04/18/2018	RAINBOW MISSIONS Returning access fee for contr	P0099019	FA0317	04/12/2018	75.00
00192446	04/18/2018	RAINIER BUILDING SERVICES JANITORIAL SERVICES CITY BLDGS	P0099023	18142	03/30/2018	14,413.87
00192447	04/18/2018	RAMSAY, JON FRLEOFF1 Retiree Medical Expen	P0099062	OH009758	04/18/2018	172.82
00192448	04/18/2018	REDMOND, CITY OF 1st Qtr 2018 Apparatus Maint.	P0098996	00002286	04/03/2018	5,076.58
00192449	04/18/2018	REPUBLIC SERVICES #172 Pickup Service 3/13/18-3/31/18	P0099012	0172007424426	03/31/2018	20.78
00192450	04/18/2018	RICOH USA INC (FIRE) Copier Rental/Fire	P0099042	100378516	04/05/2018	320.87
00192451	04/18/2018	ROOT CAUSE LLC Pioneer Park Vegetation Work 2	P0098276	350	03/01/2018	32,577.91

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Check No	Check Date	Vendor Name/Description	PO #	Invoice #	Invoice Date	Check Amount
00192452	04/18/2018	ROSENSTEIN, SUSIE Instructor fees - course #1748	P0099004	17480/477/473	04/11/2018	1,050.00
00192453	04/18/2018	SCORE March 2018 Jail Fees - Invoice	P0099047	3059	04/10/2018	3,850.00
00192454	04/18/2018	SEA WESTERN INC Batteries for MSA	P0099039	204977	03/30/2018	144.93
00192455	04/18/2018	SEATTLE REVOLUTION Partial credit for light fee	P0099017	OH009747	04/12/2018	25.00
00192456	04/18/2018	SHI INTERNATIONAL CORP Graphics Cards for Advanced	P0098748	7983881/8019296	03/27/2018	23,284.36
00192457	04/18/2018	SIERRA-PACIFIC SOFTWARE LLC Annual Maintenance and Support	P0099067	1337	12/21/2017	279.00
00192458	04/18/2018	SKAGIT SHOOTING SPORTS INC Training ammunition	P0099078	11018	04/04/2018	1,085.00
00192459	04/18/2018	SMITH, BETTY J OVERPAYMENT REFUND		OH009731	04/12/2018	407.79
00192460	04/18/2018	SMITH, RICHARD LEOFF1 Retiree Medical Expense	P0099061	OH009759	04/16/2018	58.91
00192461	04/18/2018	SOUND PUBLISHING INC Ntc: Ord #18C-01 2087599 3/14	P0099006	7830062	03/31/2018	646.07
00192462	04/18/2018	SOUND SAFETY PRODUCTS RAINBIBS	P0098826	339505	03/30/2018	79.51
00192463	04/18/2018	SYSTEMS DESIGN WEST LLC Transport Billing Fees	P0098994	MIFD0318	03/29/2018	1,043.33
00192464	04/18/2018	TACOMA SCREW PRODUCTS INC 5/16" X 2" GALV. LAG SCREWS (2	P0098885	30946682	04/02/2018	158.30
00192465	04/18/2018	TAWNEY, LAURA EXPENSES FOR TRAVEL		OH009734	04/05/2018	935.90
00192466	04/18/2018	THOMSON REUTERS - WEST Detective Search product - Inv	P0099000	837991049	04/01/2018	318.55
00192467	04/18/2018	UNDERWATER SPORTS INC. Repair of Dive Team Equipment	P0099048	20015761/5867	03/28/2018	215.27
00192468	04/18/2018	US HEALTHWORKS MED GROUP WA Dive Physical for FF White -	P0099046	0774322WA	03/23/2018	275.00
00192469	04/18/2018	WA ST DEPT OF LABOR & INDUST FS92 CHAIR LIFT OPERATING PERM	P0099051	222140	02/14/2018	69.10
00192470	04/18/2018	WA ST REVENUE 1ST QTR LEASEHOLD EXCISE TAX 2	P0097863	OH009749	04/10/2018	4,985.88
00192471	04/18/2018	WATCHGUARD VIDEO Shipping costs for replacement	P0099068	ADVREP121585	04/02/2018	77.00
00192472	04/18/2018	WEI, MENGXUAM WENG & YI OVERPAYMENT REFUND		OH009730	04/12/2018	140.77
00192473	04/18/2018	WEST MARINE PRO Marine Patrol Supplies - Invoi	P0099049	8037	03/28/2018	27.46
00192474	04/18/2018	WHEELER, DENNIS LEOFF1 Retiree Medical Expense	P0099064	OH009757	04/16/2018	90.67
00192475	04/18/2018	WIMACTEL INC POLICE LOBBY PAY PHONE	P0099050	000174013	04/01/2018	60.50
00192476	04/18/2018	XEROX CORPORATION 2018 PW BASE AND METER COPY CH	P0098886	092823028	04/01/2018	1,334.58
00192477	04/18/2018	XEROX CORPORATION PRINTER SUPPLIES	P0097715	092823025	04/01/2018	2,332.10

Accounts Payable Report by Check Number

<u>Check No</u>	<u>Check Date</u>	<u>Vendor Name/Description</u>	<u>PO #</u>	<u>Invoice #</u>	<u>Invoice Date</u>	<u>Check Amount</u>
					Total	<u>325,072.71</u>

CERTIFICATION OF CLAIMS

I, the undersigned, do hereby certify under penalty of perjury that the materials have been furnished, the services rendered, or the labor performed as described herein, that any advance payment is due and payable pursuant to a contract or is available as an option for full or partial fulfillment of a contractual obligation, and that the claim is a just, due and unpaid obligation against the City of Mercer Island, and that I am authorized to authenticate and certify to said claim.

Charles L. Corder

Finance Director

I, the undersigned, do hereby certify that the City Council has reviewed the documentation supporting claims paid and approved all checks or warrants issued in payment of claims.

Mayor

Date

<u>Report</u>	<u>Warrants</u>	<u>Date</u>	<u>Amount</u>
Check Register	192478 -192568	4/26/2018	\$ 489,302.04
			\$ 489,302.04

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
<i>Org Key: 001000 - General Fund-Admin Key</i>				
P0099093	00192502	FINK, SHANEY	Rental FA-0192 completed. Retu	400.00
P0097861	00192522	KING CO PROSECUTING ATTORNEY	COURT REMITTANCE KC CRIME VICT	317.33
P0099097	00192548	REININGER WINERY	FA-0197 rental completed. Retu	250.00
P0097862	00192519	KC PET LICENSES	KC PET LICENSE FEES COLLECTED	75.00
P0099096	00192520	KC WATER AND LAND RESOURCES	Rental FA-0699 completed. Retu	50.00
<i>Org Key: 402000 - Water Fund-Admin Key</i>				
P0099111	00192512	H D FOWLER	INVENTORY PURCHASES	6,271.85
	00192492	CHINN LIVING TRUST, MELANIE	OVERPAYMENT REFUND	671.19
P0099034	00192509	GRAINGER	INVENTORY PURCHASES	244.46
<i>Org Key: 814072 - United Way</i>				
	00192561	UNITED WAY OF KING CO	PAYROLL EARLY WARRANTS	105.00
<i>Org Key: 814074 - Garnishments</i>				
	00192491	CHAPTER 13 TRUSTEE	PAYROLL EARLY WARRANTS	1,331.00
<i>Org Key: 814075 - Mercer Island Emp Association</i>				
	00192530	MI EMPLOYEES ASSOC	PAYROLL EARLY WARRANTS	317.50
<i>Org Key: 814076 - City & Counties Local 21M</i>				
	00192566	WSCCCE AFSCME AFL-CIO	PAYROLL EARLY WARRANTS	2,642.77
<i>Org Key: 814077 - Police Association</i>				
	00192542	POLICE ASSOCIATION	PAYROLL EARLY WARRANTS	2,388.61
<i>Org Key: 814085 - GET Program Deductions</i>				
	00192508	GET Washington	PAYROLL EARLY WARRANTS	300.00
<i>Org Key: CA1100 - Administration (CA)</i>				
	00192563	US BANK CORP PAYMENT SYS	FOUR SEASONS RESORT WH	434.82
	00192563	US BANK CORP PAYMENT SYS	ACT*WASHINGTON STATE A	245.00
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS WWW.	37.38
<i>Org Key: CM1100 - Administration (CM)</i>				
	00192563	US BANK CORP PAYMENT SYS	GRUB HUB	307.11
	00192563	US BANK CORP PAYMENT SYS	SAHARA PIZZA	301.41
	00192563	US BANK CORP PAYMENT SYS	GOURMONDO CATERING	139.39
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	130.29
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	120.90
	00192563	US BANK CORP PAYMENT SYS	FRANKIES PIZZA NORTH BE	115.83
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	108.00
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	55.60
	00192563	US BANK CORP PAYMENT SYS	QFC #5839	43.90
	00192563	US BANK CORP PAYMENT SYS	QFC #5839	43.64
	00192563	US BANK CORP PAYMENT SYS	STARBUCKS STORE 13730	36.92
	00192563	US BANK CORP PAYMENT SYS	TST* HOMEGROWN 1008	35.50
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	33.92
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS WWW.	30.78
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	27.49
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	21.98
	00192563	US BANK CORP PAYMENT SYS	MERCER ISLAND CHAMBER	15.00

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM AMZN.COM/BILL	14.28
	00192563	US BANK CORP PAYMENT SYS	JOHNSONS HOME & GARDEN	12.79
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM AMZN.COM/BILL	10.99
	00192563	US BANK CORP PAYMENT SYS	MERCER ISLAND TRUE VALUE	7.69
	00192563	US BANK CORP PAYMENT SYS	SAFEWAY #1528	5.58
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	-108.81
<i>Org Key: CM1200 - City Clerk</i>				
	00192563	US BANK CORP PAYMENT SYS	RED LION HOTELS/INNS	432.72
<i>Org Key: CM1400 - Communications</i>				
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	111.31
<i>Org Key: CO6100 - City Council</i>				
	00192563	US BANK CORP PAYMENT SYS	GOURMONDO CATERING	192.12
	00192563	US BANK CORP PAYMENT SYS	PAGLIACCI MERCER ISLAND	178.87
<i>Org Key: CR1100 - CORE Admin and Human Resources</i>				
	00192563	US BANK CORP PAYMENT SYS	PAYPAL *AWC	350.00
	00192563	US BANK CORP PAYMENT SYS	AMERICAN PUBLIC WORKS	325.00
	00192563	US BANK CORP PAYMENT SYS	OUTSLAYER FIGHT GEAR	284.95
	00192563	US BANK CORP PAYMENT SYS	CRAIGSLIST.ORG	180.00
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	136.37
	00192563	US BANK CORP PAYMENT SYS	CRAIGSLIST.ORG	135.00
	00192563	US BANK CORP PAYMENT SYS	CRAIGSLIST.ORG	135.00
	00192563	US BANK CORP PAYMENT SYS	CRAIGSLIST.ORG	135.00
	00192563	US BANK CORP PAYMENT SYS	CRAIGSLIST.ORG	135.00
	00192563	US BANK CORP PAYMENT SYS	CRAIGSLIST.ORG	135.00
	00192563	US BANK CORP PAYMENT SYS	CRAIGSLIST.ORG	135.00
	00192563	US BANK CORP PAYMENT SYS	CRAIGSLIST.ORG	135.00
P0099172	00192568	ZEE MEDICAL	Quarterly supply City Hall	115.83
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM	109.10
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	97.89
	00192563	US BANK CORP PAYMENT SYS	CRAIGSLIST.ORG	90.00
	00192563	US BANK CORP PAYMENT SYS	CRAIGSLIST.ORG	90.00
	00192563	US BANK CORP PAYMENT SYS	CRAIGSLIST.ORG	90.00
	00192563	US BANK CORP PAYMENT SYS	WASHINGTONA	50.00
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	18.69
<i>Org Key: DS1100 - Administration (DS)</i>				
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	908.58
P0099127	00192523	KING COUNTY FINANCE	MERCER ISLAND QUARTERLY	589.00
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM	133.82
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	103.52
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM	61.77
	00192563	US BANK CORP PAYMENT SYS	MBP.COM MERCHANT FEE	54.10
	00192563	US BANK CORP PAYMENT SYS	EINSTEIN BROS BAGELS3410	34.28
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	29.67
	00192563	US BANK CORP PAYMENT SYS	QFC #5839	22.49
	00192563	US BANK CORP PAYMENT SYS	SQ *MERCER ISLAND R	15.00
<i>Org Key: DS1200 - Bldg Plan Review & Inspection</i>				
	00192506	GARDNER, BRENT	WORK CLOTHES	163.05

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
<i>Org Key: DS1300 - Land Use Planning Svc</i>				
	00192563	US BANK CORP PAYMENT SYS	GRUB HUB	177.89
	00192563	US BANK CORP PAYMENT SYS	GRUB HUB	173.48
	00192563	US BANK CORP PAYMENT SYS	PAGLIACCI MERCER ISLAND	97.00
<i>Org Key: FN1100 - Administration (FN)</i>				
	00192563	US BANK CORP PAYMENT SYS	ISLANDER	62.12
P0099033	00192528	MASTERMARK	S. Riddell Notary Stamp	37.27
<i>Org Key: FN4501 - Utility Billing (Water)</i>				
P0098388	00192529	METROPRESORT	March 2018 Printing and Mailin	426.25
P0098388	00192529	METROPRESORT	March 2018 Printing and Mailin	326.91
<i>Org Key: FN4502 - Utility Billing (Sewer)</i>				
P0098388	00192529	METROPRESORT	March 2018 Printing and Mailin	426.26
P0098388	00192529	METROPRESORT	March 2018 Printing and Mailin	326.92
P0098388	00192529	METROPRESORT	March 2018 Printing and Mailin	326.91
<i>Org Key: FN4503 - Utility Billing (Storm)</i>				
P0098388	00192529	METROPRESORT	March 2018 Printing and Mailin	426.26
<i>Org Key: FR1100 - Administration (FR)</i>				
	00192563	US BANK CORP PAYMENT SYS	IAFC FR1151	625.00
	00192563	US BANK CORP PAYMENT SYS	WA ST ASSOC OF FIRE CHIEF	500.00
	00192563	US BANK CORP PAYMENT SYS	AMZ*POWER EQUIPMENT	179.37
	00192563	US BANK CORP PAYMENT SYS	API SVC STAT CERT	150.00
	00192563	US BANK CORP PAYMENT SYS	CHICK'S SHOE SERVICE	54.95
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM AMZN.COM/BILL	53.89
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM	22.96
	00192563	US BANK CORP PAYMENT SYS	SQ *MERCER ISLAND R	15.00
	00192563	US BANK CORP PAYMENT SYS	SQ *MERCER ISLAND R	10.00
	00192563	US BANK CORP PAYMENT SYS	SQ *MERCER ISLAND R	10.00
<i>Org Key: FR2100 - Fire Operations</i>				
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	76.99
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	46.16
<i>Org Key: FR4100 - Training</i>				
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM	1,054.79
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM AMZN.COM/BILL	788.59
<i>Org Key: FR5100 - Community Risk Reduction</i>				
	00192563	US BANK CORP PAYMENT SYS	EB 2018 PACIFIC NORTH	556.32
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	336.57
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	151.66
	00192563	US BANK CORP PAYMENT SYS	PAYPAL *WASHINGTONS	100.00
	00192563	US BANK CORP PAYMENT SYS	PAYPAL *WASHINGTONS	100.00
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	88.53
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	76.90
	00192563	US BANK CORP PAYMENT SYS	LIFETEK, INC.	72.43
	00192563	US BANK CORP PAYMENT SYS	PAYPAL *WASHINGTONS	50.00
	00192563	US BANK CORP PAYMENT SYS	PAYPAL *WASHINGTONS	50.00
	00192563	US BANK CORP PAYMENT SYS	EB 2018 PACIFIC NORTH	-50.00

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
<i>Org Key: GGM001 - General Government-Misc</i>				
	00192563	US BANK CORP PAYMENT SYS	NORTH BEND BAR & GRILL	301.73
	00192563	US BANK CORP PAYMENT SYS	SI VIEW METRO PARKS	220.00
P0097860	00192494	COMCAST	CITY HALL HIGH SPEED INTERNET	111.45
	00192563	US BANK CORP PAYMENT SYS	STARBUCKS STORE 13730	36.92
	00192563	US BANK CORP PAYMENT SYS	SQ *GEORGIA'S BAKERY	34.84
	00192563	US BANK CORP PAYMENT SYS	QFC #5829	12.00
	00192563	US BANK CORP PAYMENT SYS	SI VIEW METRO PARKS	-50.00
<i>Org Key: GGM005 - Genera Govt-L1 Retiree Costs</i>				
	00192525	LEOFF HEALTH & WELFARE TRUST	MAY 2018 POLICE RETIREES	5,722.50
	00192524	LEOFF HEALTH & WELFARE TRUST	MAY 2018 FIRE RETIREES	3,828.91
P0099150	00192518	JOHNSON, CURTIS	FRLEOFF1 Retiree Medical Expen	380.87
P0099144	00192485	BOOTH, GLENDON D	LEOFF1 Retiree Medical Expense	141.71
P0099157	00192514	HAGSTROM, JAMES	FRLEOFF1 Retiree Medical Expen	86.82
<i>Org Key: GX9996 - Employee Benefits-Police</i>				
	00192525	LEOFF HEALTH & WELFARE TRUST	MAY 2018 POLICE ACTIVE	49,224.74
	00192525	LEOFF HEALTH & WELFARE TRUST	MAY 2018 POLICE RECORDS	7,010.43
<i>Org Key: GX9997 - Employee Benefits-Fire</i>				
	00192524	LEOFF HEALTH & WELFARE TRUST	MAY 2018 FIRE ACTIVE	55,294.64
<i>Org Key: IS1100 - IGS Mapping</i>				
	00192563	US BANK CORP PAYMENT SYS	QFC #5839	15.96
<i>Org Key: IS2100 - IGS Network Administration</i>				
	00192563	US BANK CORP PAYMENT SYS	VSN*DOTGOVREGISTRATION	400.00
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM	197.36
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM	192.24
	00192563	US BANK CORP PAYMENT SYS	MSFT * E04005D55Q	176.68
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	171.59
	00192563	US BANK CORP PAYMENT SYS	WEB*REGISTERWEBSITE	96.00
	00192563	US BANK CORP PAYMENT SYS	TST* HOMEGROWN 1008	76.18
	00192563	US BANK CORP PAYMENT SYS	SUSHI JOA RESTAURANT	68.60
	00192563	US BANK CORP PAYMENT SYS	THE UPS STORE 1081	52.66
	00192563	US BANK CORP PAYMENT SYS	WEB*REGISTERWEBSITE	28.00
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	21.98
	00192563	US BANK CORP PAYMENT SYS	AMAZON WEB SERVICES	20.42
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM	14.16
	00192563	US BANK CORP PAYMENT SYS	APL * ITUNES.COM/BILL	10.99
<i>Org Key: MT2255 - Urban Forest Management (ROW)</i>				
P0099058	00192515	HOME DEPOT CREDIT SERVICE	GALV. WELDED WIRE & CABLE TIES	52.37
<i>Org Key: MT2300 - Planter Bed Maintenance</i>				
P0099140	00192515	HOME DEPOT CREDIT SERVICE	WATER PUMP & CORDLESS DRIVER	413.85
<i>Org Key: MT2500 - ROW Administration</i>				
P0098360	00192549	REPUBLIC SERVICES #172	2018 PW ROW DISPOSAL/RECYCLING	1,868.69
P0098354	00192549	REPUBLIC SERVICES #172	2018 PW SWEEPER HAUL AWAY	1,373.37
<i>Org Key: MT3100 - Water Distribution</i>				

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
P0099075	00192478	AA ASPHALTING INC	ASPHALT PATCHING DAWN DR INV.	6,329.00
P0098767	00192543	POLLARD WATER	WATER DISTRIBUTION LEAK DETECT	3,817.00
P0099028	00192509	GRAINGER	PADDED GLOVES	44.88
<i>Org Key: MT3120 - Hydrant Maintenance</i>				
P0099145	00192512	H D FOWLER	HYDRANT GUARD POST	58.67
<i>Org Key: MT3150 - Water Quality Event</i>				
P0099073	00192513	HACH COMPANY	2100Q PORTABLE TURBIDIMETER	1,424.60
P0098979	00192543	POLLARD WATER	ALUMINUM DECHLORINATING	1,255.55
P0099073	00192513	HACH COMPANY	POCKET COLORIMETER (CHLORINE)	979.00
	00192563	US BANK CORP PAYMENT SYS	ROSEMOUNT ANALYTICAL LIQ	545.04
	00192563	US BANK CORP PAYMENT SYS	ROSEMOUNT ANALYTICAL LIQ	378.40
P0099086	00192479	AM TEST INC	WATER QUALITY SAMPLES	240.00
P0098979	00192543	POLLARD WATER	LPD PITOT WITH DUAL READ KEMX	191.40
	00192563	US BANK CORP PAYMENT SYS	ROSEMOUNT ANALYTICAL LIQ	-545.04
<i>Org Key: MT3200 - Water Pumps</i>				
	00192490	CENTURYLINK	PHONE USE APRIL 2018	59.69
<i>Org Key: MT3300 - Water Associated Costs</i>				
P0098360	00192549	REPUBLIC SERVICES #172	2018 PW SEWER DISPOSAL/RECYCLI	207.63
P0099109	00192556	SUMMIT SAFETY SHOES	MISC. WORK CLOTHES	157.74
<i>Org Key: MT3400 - Sewer Collection</i>				
P94698	00192484	BEST PARKING LOT CLEANING INC	2017-18 SANITARY SEWER CCTV	3,025.00
<i>Org Key: MT3500 - Sewer Pumps</i>				
P0099074	00192512	H D FOWLER	HANDWHEEL FOR GATE VALVE	265.32
	00192562	UPS	SHIPPING CHARGES	13.96
<i>Org Key: MT3600 - Sewer Associated Costs</i>				
P0098360	00192549	REPUBLIC SERVICES #172	2018 PW WATER DISPOSAL/RECYCL	207.63
<i>Org Key: MT3800 - Storm Drainage</i>				
P0099116	00192484	BEST PARKING LOT CLEANING INC	2017-18 ON-CALL STORM CCTV	1,850.60
	00192563	US BANK CORP PAYMENT SYS	ECO 3	450.00
<i>Org Key: MT3805 - Slide Repair 8410 WMW</i>				
P0099112	00192478	AA ASPHALTING INC	2018 ON-CALL ASPHALT REPAIRS	22,090.00
P0096438	00192544	PONDEROSA PACIFIC INC	RETAINAGE	7,105.46
P0098912	00192551	RRJ COMPANY LLC	8410 EMW HAUL OUT	1,043.40
<i>Org Key: MT4150 - Support Services - Clearing</i>				
P0099091	00192505	G&K SERVICES	2018 COVERALL/LAUNDRY SERVICE	2,181.85
P0099104	00192511	GRC/WW	SAFETY COMPETENT PERSON ESSENT	1,500.00
P0099080	00192564	WEATHERNET LLC	MONTHLY WEATHER SERVICES 1/1//	1,470.00
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM	765.52
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM	731.36
	00192563	US BANK CORP PAYMENT SYS	LIFETEK, INC.	557.75
	00192563	US BANK CORP PAYMENT SYS	AED SUPERSTORE	303.60
	00192563	US BANK CORP PAYMENT SYS	INT'L ASSOC OF ADMIN PRO	150.00
	00192563	US BANK CORP PAYMENT SYS	EB IAAP PACIFIC NORTH	125.00
	00192563	US BANK CORP PAYMENT SYS	THE TWISTED CUBAN CAFE	87.60

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
P0098321	00192495	COMCAST	2018 PW WI-FI SERVICE	86.40
	00192563	US BANK CORP PAYMENT SYS	AMERICAN PUBLIC WORKS	64.03
	00192563	US BANK CORP PAYMENT SYS	SAHARA PIZZA	50.71
	00192563	US BANK CORP PAYMENT SYS	STARBUCKS STORE 13730	36.92
	00192563	US BANK CORP PAYMENT SYS	QFC #5829	29.97
	00192563	US BANK CORP PAYMENT SYS	QFC #5819	27.97
	00192563	US BANK CORP PAYMENT SYS	LIFETEK, INC.	24.16
	00192563	US BANK CORP PAYMENT SYS	LIFETEK, INC.	24.15
	00192563	US BANK CORP PAYMENT SYS	STARBUCKS STORE 3318	23.54
	00192563	US BANK CORP PAYMENT SYS	QFC #5839	15.35
	00192563	US BANK CORP PAYMENT SYS	STARBUCKS STORE 23310	10.00
	00192563	US BANK CORP PAYMENT SYS	SAHARA PIZZA	7.65
	00192563	US BANK CORP PAYMENT SYS	QDOBA 2150	-291.50
Org Key: MT4200 - Building Services				
P0099128	00192517	INTERIOR FOLIAGE CO, THE	CITY HALL INTERIOR LANDSCAPING	272.58
P0099129	00192517	INTERIOR FOLIAGE CO, THE	CITY HALL INTERIOR LANDSCAPING	272.58
	00192563	US BANK CORP PAYMENT SYS	THE HOME DEPOT #4711	142.40
P0099135	00192503	FIRE PROTECTION INC	FS91 CONFIDENCE TESTING FIRE A	115.80
P0099134	00192503	FIRE PROTECTION INC	FIRE ALARM CONFIDENCE TESTING	115.80
P0099130	00192503	FIRE PROTECTION INC	FIRE ALARM MONITORING	84.75
	00192563	US BANK CORP PAYMENT SYS	LIFETEK, INC.	24.14
P0099133	00192503	FIRE PROTECTION INC	FS92 FIRE ALARM CONFIDENCE TES	20.00
Org Key: MT4210 - Building Landscaping				
P0098360	00192549	REPUBLIC SERVICES #172	2018 PW FACILITIES	207.64
Org Key: MT4300 - Fleet Services				
P0097948	00192538	OVERLAKE OIL	2018 FUEL DELIVERY	6,702.91
P0097948	00192538	OVERLAKE OIL	2018 FUEL DELIVERY	2,515.76
P0097948	00192538	OVERLAKE OIL	2018 FUEL DELIVERY	2,432.40
P0098166	00192533	NAPA AUTO PARTS	2018 FLEET REPAIR PARTS AND	452.86
P0099114	00192481	AUTONATION INC	AUTO REPAIRS INV 122844	364.80
P0098165	00192480	AMERIGAS-1400	2018 PROPANE DELIVERY	265.24
P88915	00192521	KIA MOTORS FINANCE	DSG 2016 KIA SOUL LEASE	263.96
P0099092	00192545	POWERPLAN - OIB	FL-0365 REPAIR PARTS	152.75
P0098287	00192546	PRAXAIR DISTRIBUTION INC	2018 ACETYLENE & OXYGEN TANK R	48.29
	00192563	US BANK CORP PAYMENT SYS	CHEVRON 0092003	26.50
	00192563	US BANK CORP PAYMENT SYS	GOOD2GO-INTERNET	12.00
	00192563	US BANK CORP PAYMENT SYS	GOOD2GO-INTERNET	6.30
Org Key: MT4402 - Customer Response-Right-of-Way				
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM AMZN.COM/BILL	73.96
Org Key: MT4501 - Water Administration				
P0099137	00192503	FIRE PROTECTION INC	REPLACE BATTERY IN SECURITY SY	157.30
Org Key: MT4900 - Solid Waste				
P0098751	00192537	OLYMPIC ENVIRONMENTAL RES	2018 ANNUAL RECYCLING EVENT	10,033.63
Org Key: PO1100 - Administration (PO)				
	00192563	US BANK CORP PAYMENT SYS	Chief Holmes - Annual Dues	150.00
	00192563	US BANK CORP PAYMENT SYS	Staff Meeting	132.50

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
	00192563	US BANK CORP PAYMENT SYS	EXTRA CAR AIRPORT PARKING	45.85
	00192563	US BANK CORP PAYMENT SYS	SHELL OIL 54640040090	29.00
	00192563	US BANK CORP PAYMENT SYS	SQ *MERCER ISLAND R	15.00
	00192563	US BANK CORP PAYMENT SYS	SQ *MERCER ISLAND R	10.00
<i>Org Key: PO1350 - Police Emergency Management</i>				
	00192563	US BANK CORP PAYMENT SYS	CTC*CONSTANTCONTACT.COM	450.57
	00192563	US BANK CORP PAYMENT SYS	Registration fee for 2018 Wash	125.00
<i>Org Key: PO1700 - Records and Property</i>				
	00192563	US BANK CORP PAYMENT SYS	Registration fee for 2018 WAPR	175.00
	00192563	US BANK CORP PAYMENT SYS	Evidence/Property room storage	97.90
<i>Org Key: PO2100 - Patrol Division</i>				
	00192563	US BANK CORP PAYMENT SYS	Bluetooth for patrol cars	74.76
<i>Org Key: PO2200 - Marine Patrol</i>				
	00192563	US BANK CORP PAYMENT SYS	Rescue equipment for MP Boats	283.74
<i>Org Key: PO2201 - Dive Team</i>				
	00192563	US BANK CORP PAYMENT SYS	Dive Team Equipment	219.96
<i>Org Key: PO2350 - Bike Patrol</i>				
	00192563	US BANK CORP PAYMENT SYS	Bike Patrol maintenance equipm	111.83
	00192563	US BANK CORP PAYMENT SYS	New lenses for 142	38.50
	00192563	US BANK CORP PAYMENT SYS	Bike Patrol replacement lights	28.79
	00192563	US BANK CORP PAYMENT SYS	Bike tool kits	24.04
<i>Org Key: PO2450 - Special Operations Team</i>				
	00192563	US BANK CORP PAYMENT SYS	Registration for TRU training	84.00
	00192563	US BANK CORP PAYMENT SYS	Brake pads for bike patrol mai	67.82
	00192563	US BANK CORP PAYMENT SYS	Brake pads for bike team maint	38.32
<i>Org Key: PO3100 - Investigation Division</i>				
	00192563	US BANK CORP PAYMENT SYS	PIPL.com subscription.	1,219.92
	00192563	US BANK CORP PAYMENT SYS	Cedit for PIPL invoice (overch	-31.92
<i>Org Key: PO4100 - Firearms Training</i>				
	00192563	US BANK CORP PAYMENT SYS	Armorer's supplies for firearms	276.87
	00192563	US BANK CORP PAYMENT SYS	Registration for GLOCK armorer	250.00
	00192563	US BANK CORP PAYMENT SYS	Registration for GLOCK armorer	250.00
	00192563	US BANK CORP PAYMENT SYS	Firearms sighting setup system	135.56
	00192563	US BANK CORP PAYMENT SYS	Targets for firearms training	87.08
	00192563	US BANK CORP PAYMENT SYS	9mm duty ammunition for Office	79.10
<i>Org Key: PO4300 - Police Training</i>				
P0097309	00192558	TYLER TECHNOLOGIES INC	E-Parking Hardware Solution -	3,248.53
	00192563	US BANK CORP PAYMENT SYS	BELLEVUE GUN CLUB	132.00
P0099070	00192497	CRIMINAL JUSTICE TRAINING COMM	LVNR Training for Officer Lum	50.00
<i>Org Key: PR1100 - Administration (PR)</i>				
P0099117	00192534	NORTHWEST PUBLISHING CENTER	Digital edition of spring/summ	885.00
	00192563	US BANK CORP PAYMENT SYS	WASHINGTON RECREATION AND	349.00
	00192563	US BANK CORP PAYMENT SYS	PR & YFS email marketing	55.00

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PO #	Check #	Vendor:	Transaction Description	Check Amount
	00192563	US BANK CORP PAYMENT SYS	Dept. survey sub.	35.00
	00192563	US BANK CORP PAYMENT SYS	SQ *MERCER ISLAND R	15.00
	00192563	US BANK CORP PAYMENT SYS	SQ *MERCER ISLAND R	15.00
	00192563	US BANK CORP PAYMENT SYS	SQ *MERCER ISLAND R	10.00
	00192563	US BANK CORP PAYMENT SYS	SQ *MERCER ISLAND R	10.00
<i>Org Key: PR2100 - Recreation Programs</i>				
P0099107	00192553	SEATTLE'S CHILD	Digital add - April	500.00
	00192563	US BANK CORP PAYMENT SYS	Parent's Night Out pizza	160.43
	00192563	US BANK CORP PAYMENT SYS	OFFICEMAX/DEPOT 6354	100.81
	00192563	US BANK CORP PAYMENT SYS	SAFEWAY #0485	37.81
	00192563	US BANK CORP PAYMENT SYS	Parent's Night Out movie	18.69
	00192563	US BANK CORP PAYMENT SYS	Parent's Night Out supplies	17.95
<i>Org Key: PR2101 - Youth and Teen Camps</i>				
	00192563	US BANK CORP PAYMENT SYS	Elevated Sportz Field Trip - C	723.57
	00192563	US BANK CORP PAYMENT SYS	Payment to City of Renton for	656.00
<i>Org Key: PR2104 - Special Events</i>				
	00192563	US BANK CORP PAYMENT SYS	Egg Hunt Candy	28.48
<i>Org Key: PR2108 - Health and Fitness</i>				
P0099122	00192552	SALZETTI, ERIC	Instructor fees - course #0575	993.30
P0099122	00192552	SALZETTI, ERIC	Instructor fees plus drop ins-	967.40
P0099146	00192550	ROSENSTEIN, SUSIE	Bryce Bogar, Betsy Bahan, Mari	600.00
P0099108	00192540	PAULETTO, MAUDE	Instructor fees course #17277	502.95
P0099108	00192540	PAULETTO, MAUDE	Instructor fees plus drop ins	479.15
P0099108	00192540	PAULETTO, MAUDE	Instructor fees course #17275	222.95
P0099123	00192510	GRAY, KATY S.	Instructor fees - course #0168	112.70
P0099146	00192550	ROSENSTEIN, SUSIE	Sydney Elston 2 personal train	75.00
	00192563	US BANK CORP PAYMENT SYS	Annual Golf Meeting	35.94
	00192563	US BANK CORP PAYMENT SYS	Supplies for the Spring Egg Hu	11.73
<i>Org Key: PR3500 - Senior Services</i>				
	00192563	US BANK CORP PAYMENT SYS	SP * MI FAMILY KITCHEN	342.00
	00192563	US BANK CORP PAYMENT SYS	SP * MI FAMILY KITCHEN	218.50
	00192563	US BANK CORP PAYMENT SYS	Senior Lunch (soda bread)	181.50
	00192563	US BANK CORP PAYMENT SYS	C&C SMART FOOD52105590	133.43
	00192563	US BANK CORP PAYMENT SYS	COSTCO WHSE #0001	107.36
	00192563	US BANK CORP PAYMENT SYS	SP * MI FAMILY KITCHEN	95.00
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM	88.56
	00192563	US BANK CORP PAYMENT SYS	COSTCO WHSE #0001	78.88
	00192563	US BANK CORP PAYMENT SYS	COSTCO WHSE #0001	64.92
	00192563	US BANK CORP PAYMENT SYS	PARTY CITY	57.38
	00192563	US BANK CORP PAYMENT SYS	SAFEWAY #0526	56.06
	00192563	US BANK CORP PAYMENT SYS	SAFEWAY #0526	37.48
	00192563	US BANK CORP PAYMENT SYS	QFC #5839	34.88
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM AMZN.COM/BILL	32.03
	00192563	US BANK CORP PAYMENT SYS	WALGREENS #3733	26.71
	00192563	US BANK CORP PAYMENT SYS	COSTCO WHSE #0001	26.67
	00192563	US BANK CORP PAYMENT SYS	QFC #5839	20.02
	00192563	US BANK CORP PAYMENT SYS	SP * MI FAMILY KITCHEN	19.00

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
	00192563	US BANK CORP PAYMENT SYS	NEW SEASONS MARKET	15.48
	00192563	US BANK CORP PAYMENT SYS	QFC #5839	13.42
	00192563	US BANK CORP PAYMENT SYS	QFC #5839	10.28
	00192563	US BANK CORP PAYMENT SYS	RITE AID STORE - 5197	9.57
	00192563	US BANK CORP PAYMENT SYS	QFC #5839	8.97
<i>Org Key: PR4100 - Community Center</i>				
P0099142	00192503	FIRE PROTECTION INC	INSTALL WIRELESS DOOR CHIME	763.62
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM	658.90
	00192563	US BANK CORP PAYMENT SYS	YELPINC*BIZSERVICES	350.00
P0099147	00192565	WRPA	WRPA Annual Conference for Rya	349.00
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM	242.62
	00192563	US BANK CORP PAYMENT SYS	280633117	237.60
P0097871	00192496	COMCAST	2018 High Speed Internet Conne	163.37
P0099148	00192498	CRYSTAL SPRINGS	coffee for starbucks machine	147.58
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM AMZN.COM/BILL	125.25
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM	124.27
	00192563	US BANK CORP PAYMENT SYS	LIFETEK, INC.	120.72
P0099130	00192503	FIRE PROTECTION INC	FIRE ALARM MONITORING	114.75
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS WWW.	112.63
	00192563	US BANK CORP PAYMENT SYS	AMAZONPRIME MEMBERSHIP	108.90
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	103.13
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	96.06
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS WWW.	89.86
	00192563	US BANK CORP PAYMENT SYS	HOMEDEPOT.COM	83.53
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	82.82
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM AMZN.COM/BILL	70.08
	00192563	US BANK CORP PAYMENT SYS	QUILL CORPORATION	69.51
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM	69.29
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS WWW.	61.23
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM AMZN.COM/BILL	59.75
	00192563	US BANK CORP PAYMENT SYS	SOUND CIRCULATION	59.00
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS WWW.	43.86
	00192563	US BANK CORP PAYMENT SYS	THE HOME DEPOT #4711	41.77
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM	40.16
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	39.96
P0099136	00192503	FIRE PROTECTION INC	FIRE ALARM CONF TESTING REPORT	30.00
	00192563	US BANK CORP PAYMENT SYS	QFC #5839	28.98
	00192563	US BANK CORP PAYMENT SYS	JON DON ECOMM #999	28.37
	00192563	US BANK CORP PAYMENT SYS	JOOLA NORTH AMERICA	28.15
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM	27.49
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	22.78
	00192563	US BANK CORP PAYMENT SYS	MICHIGAN COMPANY	20.00
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	16.96
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	16.49
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	15.39
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS WWW.	12.59
	00192563	US BANK CORP PAYMENT SYS	PANDA EXPRESS #1564	12.10
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	11.72
	00192563	US BANK CORP PAYMENT SYS	ADOBE SYSTEMS, INC.	10.99
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS WWW.	-12.09

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PO #	Check #	Vendor:	Transaction Description	Check Amount
	00192563	US BANK CORP PAYMENT SYS	THE HOME DEPOT #4711	-41.77
<i>Org Key: PR6100 - Park Maintenance</i>				
P0098360	00192549	REPUBLIC SERVICES #172	2018 PARKS DISPOSAL/RECYCLING	830.53
P0099124	00192565	WRPA	WRPA Conference - Ken Brooks	349.00
	00192563	US BANK CORP PAYMENT SYS	PAYPAL *PNW-ISA	331.98
P0099085	00192515	HOME DEPOT CREDIT SERVICE	MISC. BEDDING PLANTS	150.15
P0099105	00192532	MULTICARE IMMEDIATE CLINIC	Physical Exam - staff	100.00
P0099098	00192515	HOME DEPOT CREDIT SERVICE	GREY EDGESTONE	91.08
	00192563	US BANK CORP PAYMENT SYS	LIFETEK, INC.	36.22
	00192563	US BANK CORP PAYMENT SYS	THE HOME DEPOT #4711	28.38
	00192563	US BANK CORP PAYMENT SYS	Cell phone case - BS	14.85
<i>Org Key: PR6200 - Athletic Field Maintenance</i>				
	00192563	US BANK CORP PAYMENT SYS	LIFETEK, INC.	32.60
<i>Org Key: PR6500 - Luther Burbank Park Maint.</i>				
P0099028	00192509	GRAINGER	PADDED GLOVES & EAR MUFFS	156.75
	00192563	US BANK CORP PAYMENT SYS	LIFETEK, INC.	32.60
P0099131	00192503	FIRE PROTECTION INC	FIRE ALARM CONFIDENCE TESTING	10.00
<i>Org Key: PR6600 - Park Maint-School Related</i>				
	00192563	US BANK CORP PAYMENT SYS	SAFETYSIGN.COM	278.36
P0099106	00192560	UNITED SITE SERVICES	Portable restroom rental - Isl	105.22
	00192563	US BANK CORP PAYMENT SYS	LIFETEK, INC.	32.60
<i>Org Key: PR6700 - I90 Park Maintenance</i>				
P0098360	00192549	REPUBLIC SERVICES #172	2018 PARKS DISPOSAL/RECYCLING	830.53
	00192563	US BANK CORP PAYMENT SYS	AMERICAN MEADOWS	400.45
P0097942	00192560	UNITED SITE SERVICES	2018 Portable Toilet Rentals &	356.35
	00192563	US BANK CORP PAYMENT SYS	RAINMASTER	313.95
P0099106	00192560	UNITED SITE SERVICES	Fence Rental - Lid Field	290.40
P0097942	00192560	UNITED SITE SERVICES	2018 Portable Toilet Rentals &	151.20
	00192563	US BANK CORP PAYMENT SYS	LIFETEK, INC.	32.58
P0097872	00192557	T-MOBILE	2018 Service for Boat Launch T	20.00
<i>Org Key: PR6800 - Trails Maintenance</i>				
	00192563	US BANK CORP PAYMENT SYS	THE HOME DEPOT 4711	236.23
<i>Org Key: PY4616 - Flex Admin 2016</i>				
	00192482	BAKER, DENNIS L	FLEX SPEND REIMB	362.62
<i>Org Key: PY4618 - Flex Spending Admin 2018</i>				
	00192567	YAMASHITA, M PATRICK	FLEX SPEND REIMB	2,599.58
	00192554	SOLOMON, MEARA	FLEX SPEND REIMB	1,538.48
	00192527	MANDEVILLE, TROY	FLEX SPEND REIMB	1,530.00
	00192507	GENTINO, CATHERINE L	FLEX SPEND REIMB	672.06
	00192504	FLETCHER, BRUCE	FLEX SPEND REIMB	500.00
	00192516	HORSCHMAN, BRENT	FLEX SPEND REIMB	241.00
<i>Org Key: ST0002 - ST Long Term Parking</i>				
	00192539	PARKWAY CENTER MANAGEMENT GRP	APRIL & MAY RENT PAYMENT	5,733.33
<i>Org Key: WD104D - Watercourse Condition Assess</i>				

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
P0097675	00192488	CARDNO INC	2017-18 WATERCOURSE CONDITION	4,878.00
<i>Org Key: WD301S - Neighborhood Spot Drainage Imp</i>				
P0097678	00192551	RRJ COMPANY LLC	SCHEDUL C - ROADSIDE SHOULDER	13,456.48
<i>Org Key: WG103R - South Fire Station Repairs</i>				
P0099071	00192526	LONG BUILDING TECHNOLOGIES INC	HVAC SOFTWARE UPGRADE	3,588.20
<i>Org Key: WG104R - Thrift Shop Repairs</i>				
P0099100	00192541	PIPP MOBILE STORAGE SYS INC	Operating supplies for Thrift	1,059.40
<i>Org Key: WG130E - Equipment Rental Vehicle Repl</i>				
P0099103	00192501	FINANCIAL CONSULTANTS INT'L	POLICE FL-0508 EQUIPMENT	18,104.63
P0099103	00192501	FINANCIAL CONSULTANTS INT'L	POLICE FL-0506 EQUIPMENT	17,995.73
P0099103	00192501	FINANCIAL CONSULTANTS INT'L	POLICE FL-0507 EQUIPMENT	17,995.73
P0099103	00192501	FINANCIAL CONSULTANTS INT'L	POLICE FL-0509 EQUIPMENT	14,440.14
P0099103	00192501	FINANCIAL CONSULTANTS INT'L	POLICE FL-0505 EQUIPMENT	8,935.25
P94483	00192521	KIA MOTORS FINANCE	DSG 2016 KIA SOUL LEASE	211.36
<i>Org Key: WG141E - MICEC Equipment Replacement</i>				
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	334.30
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	123.75
	00192563	US BANK CORP PAYMENT SYS	LOWES #02420*	116.99
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM AMZN.COM/BILL	88.72
	00192563	US BANK CORP PAYMENT SYS	THE HOME DEPOT #4711	72.12
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	59.45
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	32.32
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	7.30
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	5.56
<i>Org Key: WP115S - ICP South Synthetic Field</i>				
P0099057	00192500	ECO-CHEMICAL	PAINTER & PAINT REMOVER FOR	9,895.05
	00192563	US BANK CORP PAYMENT SYS	SQ *FREEDOM SNACKS	47.92
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	42.03
	00192563	US BANK CORP PAYMENT SYS	THE HOME DEPOT #4702	14.38
<i>Org Key: WP122P - Open Space - Pioneer/Engstrom</i>				
P0097942	00192560	UNITED SITE SERVICES	2018 Portable Toilet Rentals &	75.60
<i>Org Key: WP122R - Vegetation Management</i>				
	00192563	US BANK CORP PAYMENT SYS	THE HOME DEPOT #4711	379.09
	00192563	US BANK CORP PAYMENT SYS	FORESTRY SUPPLIERS INC	349.74
	00192563	US BANK CORP PAYMENT SYS	THE HOME DEPOT #4711	178.57
P0097782	00192560	UNITED SITE SERVICES	Volunteer Event Portable Restr	110.76
	00192563	US BANK CORP PAYMENT SYS	UW BOTANIC GARDENS	95.00
	00192563	US BANK CORP PAYMENT SYS	THE EGG AND US	87.20
	00192563	US BANK CORP PAYMENT SYS	PRUNER WAREHOUSE	75.64
	00192563	US BANK CORP PAYMENT SYS	FORESTRY SUPPLIERS INC	23.20
<i>Org Key: WP506R - Swim Beach Repair at Groveland</i>				
P0099126	00192536	OAC SERVICES INC	Groveland Dock Repair professi	5,445.00
P0099125	00192483	BERGER PARTNERSHIP PS, THE	Groveland Beach Park - ADA Mem	1,891.50
P0099121	00192487	BUILDERS EXCHANGE OF WA	Publish of projects online	59.65

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PO #	Check #	Vendor:	Transaction Description	Check Amount
<i>Org Key: WP700P - Aubrey Davis Multiuse Corridor</i>				
P0099102	00192499	DAILY JOURNAL OF COMMERCE	AUBREY DAVIS MASTER PLAN	248.40
<i>Org Key: WP720R - Recurring Park Projects</i>				
P0099056	00192531	MORUP SIGNS INC	PAINTED & ROUTED PARKS SIGN	940.51
<i>Org Key: WR101R - Residential Street Improvement</i>				
P0099119	00192499	DAILY JOURNAL OF COMMERCE	ARTERIAL AND RESIDENTIAL OVERL	520.00
<i>Org Key: WR544C - ICW Crosswalk at SE 32nd</i>				
P0094878	00192535	NPM CONSTRUCTION CO	PEDESTRIAN SIGNAL AT ICW @ SE	5,129.87
<i>Org Key: WS101U - Backyard Sewer System Impvt</i>				
P0097718	00192493	CHS ENGINEERING INC	81 AVE BACKYARD SIDE SEWER PHA	5,892.70
<i>Org Key: WS103P - Sewer 20 yr CIP Plan</i>				
P86399	00192489	CAROLLO ENGINEERS INC	GENERAL SEWER PLAN UPDATE	2,357.94
<i>Org Key: WS713T - SCADA System Upgrade</i>				
P0095668	00192486	BROWN AND CALDWELL CONSULTANTS INV 150965 2017 SCADA MASTER P		20,649.96
<i>Org Key: WS901G - Sewer System Generator Repl</i>				
P0099076	00192515	HOME DEPOT CREDIT SERVICE	LUMBER & MISC. HARDWARE	200.33
<i>Org Key: XR310R - EMW Shoulders - Ph 8-11</i>				
P0097678	00192551	RRJ COMPANY LLC	SCHEDUL A - ROADSIDE SHOULDER	26,638.52
P0097678	00192551	RRJ COMPANY LLC	SCHEDUL B - ROADSIDE SHOULDER	15,957.76
<i>Org Key: YF1100 - YFS General Services</i>				
	00192563	US BANK CORP PAYMENT SYS	PAGLIACCI MERCER ISLAND	144.72
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	118.90
	00192563	US BANK CORP PAYMENT SYS	ACT*MRSC	35.00
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM	31.86
	00192563	US BANK CORP PAYMENT SYS	EB RACE AND EQUITY SU	27.03
	00192563	US BANK CORP PAYMENT SYS	STAMPINGTON & COMPANY	19.14
	00192563	US BANK CORP PAYMENT SYS	SQ *MERCER ISLAND R	15.00
	00192563	US BANK CORP PAYMENT SYS	SQ *MERCER ISLAND R	15.00
<i>Org Key: YF1200 - Thrift Shop</i>				
P0099120	00192559	ULINE	Operating supplies for Thrift	1,281.60
P0097805	00192555	STRANGER, THE	Advertising for Thrift Shop -	1,200.00
	00192563	US BANK CORP PAYMENT SYS	COSTCO *BUS DELIV 115	350.64
	00192563	US BANK CORP PAYMENT SYS	AMAZON MKTPLACE PMTS	139.10
	00192563	US BANK CORP PAYMENT SYS	ULINE *SHIP SUPPLIES	114.95
	00192563	US BANK CORP PAYMENT SYS	DULLES GLASS AND MIRROR	65.97
	00192563	US BANK CORP PAYMENT SYS	MOOD PANDORA	29.64
	00192563	US BANK CORP PAYMENT SYS	GIH*GLOBALINDUSTRIALEQ	23.67
	00192563	US BANK CORP PAYMENT SYS	USPS PO 5453060253	22.71
	00192563	US BANK CORP PAYMENT SYS	AMAZON.COM	18.10
P0099132	00192503	FIRE PROTECTION INC	FIRE ALARM CONFIDENCE TESTING	10.00
	00192563	US BANK CORP PAYMENT SYS	RITE AID STORE - 5197	5.82
<i>Org Key: YF2100 - School/City Partnership</i>				
	00192563	US BANK CORP PAYMENT SYS	PESI	199.99

Accounts Payable Report by GL Key

PO #	Check #	Vendor:	Transaction Description	Check Amount
	00192563	US BANK CORP PAYMENT SYS	PESI INC	169.99
<i>Org Key: YF2300 - VOICE Program</i>				
	00192563	US BANK CORP PAYMENT SYS	CITY OF MERCER ISLAND	225.00
	00192563	US BANK CORP PAYMENT SYS	CITY OF MERCER ISLAND	225.00
	00192563	US BANK CORP PAYMENT SYS	IDEALIST.ORG 2596265	90.00
	00192563	US BANK CORP PAYMENT SYS	ACT*MRSC	35.00
	00192563	US BANK CORP PAYMENT SYS	SYMPPLICITY CORP	10.00
<i>Org Key: YF2500 - Family Counseling</i>				
	00192563	US BANK CORP PAYMENT SYS	ACT*CASCADIA TRAINING	-155.00
<i>Org Key: YF2600 - Family Assistance</i>				
P0097804	00192547	PUGET SOUND ENERGY	Utility Assistance for Emergen	746.05
	00192563	US BANK CORP PAYMENT SYS	BOYS AND GIRLS CLUB OF KC	292.00
	00192563	US BANK CORP PAYMENT SYS	QFC #5839	193.53
	00192563	US BANK CORP PAYMENT SYS	PAYPAL *PLAYWELLTEK	186.00
	00192563	US BANK CORP PAYMENT SYS	CITY OF MERCER ISLANDCNP	150.00
	00192563	US BANK CORP PAYMENT SYS	QFC #5839	131.00
	00192563	US BANK CORP PAYMENT SYS	CITY OF MERCER ISLANDCNP	119.00
	00192563	US BANK CORP PAYMENT SYS	NEW SEASONS MARKET	91.27
	00192563	US BANK CORP PAYMENT SYS	QFC #5839	55.28
	00192563	US BANK CORP PAYMENT SYS	SHELL OIL 57424192508	50.00
	00192563	US BANK CORP PAYMENT SYS	AU COURANT HAIR DESIGN	42.00
	00192563	US BANK CORP PAYMENT SYS	SHELL OIL 57424192508	25.00
<i>Org Key: YF2800 - Fed Drug Free Communities Gran</i>				
	00192563	US BANK CORP PAYMENT SYS	COSTCO WHSE #0110	289.63
	00192563	US BANK CORP PAYMENT SYS	FACEBK 3KQZDEWF42	175.00
	00192563	US BANK CORP PAYMENT SYS	PR & YFS email marketing	82.51
	00192563	US BANK CORP PAYMENT SYS	SQ *SEATTLE WHOLESA	80.50
	00192563	US BANK CORP PAYMENT SYS	EIG*HOMESTEAD	21.99
Total				489,302.04

Accounts Payable Report by Check Number

Check No	Check Date	Vendor Name/Description	PO #	Invoice #	Invoice Date	Check Amount
00192478	04/26/2018	AA ASPHALTING INC ASPHALT PATCHING DAWN DR INV.	P0099112	0094502IN	03/31/2018	28,419.00
00192479	04/26/2018	AM TEST INC WATER QUALITY SAMPLES	P0099086	104244	04/12/2018	240.00
00192480	04/26/2018	AMERICAS-1400 2018 PROPANE DELIVERY	P0098165	3077089099	04/05/2018	265.24
00192481	04/26/2018	AUTONATION INC AUTO REPAIRS INV 122844	P0099114	122844	03/21/2018	364.80
00192482	04/26/2018	BAKER, DENNIS L FLEX SPEND REIMB		14APR18	04/14/2018	362.62
00192483	04/26/2018	BERGER PARTNERSHIP PS, THE Groveland Beach Park - ADA Mem	P0099125	30438	04/13/2018	1,891.50
00192484	04/26/2018	BEST PARKING LOT CLEANING INC 2017-18 SANITARY SEWER CCTV	P0099116	V166916	03/31/2018	4,875.60
00192485	04/26/2018	BOOTH, GLENDON D LEOFF1 Retiree Medical Expense	P0099144	OH009767	04/23/2018	141.71
00192486	04/26/2018	BROWN AND CALDWELL CONSULTANTS INV 150965 2017 SCADA MASTER P	SP0095668	14314268	04/02/2018	20,649.96
00192487	04/26/2018	BUILDERS EXCHANGE OF WA Publish of projects online	P0099121	1058291	04/11/2018	59.65
00192488	04/26/2018	CARDNO INC 2017-18 WATERCOURSE CONDITION	P0097675	252638	04/09/2018	4,878.00
00192489	04/26/2018	CAROLLO ENGINEERS INC GENERAL SEWER PLAN UPDATE	P86399	0165986	04/16/2018	2,357.94
00192490	04/26/2018	CENTURYLINK PHONE USE APRIL 2018		OH009764	04/16/2018	59.69
00192491	04/26/2018	CHAPTER 13 TRUSTEE PAYROLL EARLY WARRANTS		27APR2018	04/27/2018	1,331.00
00192492	04/26/2018	CHINN LIVING TRUST, MELANIE OVERPAYMENT REFUND		OH009766	04/18/2018	671.19
00192493	04/26/2018	CHS ENGINEERING INC 81 AVE BACKYARD SIDE SEWER PHA	P0097718	8017041803	03/30/2018	5,892.70
00192494	04/26/2018	COMCAST CITY HALL HIGH SPEED INTERNET	P0097860	OH009769	04/12/2018	111.45
00192495	04/26/2018	COMCAST 2018 PW WI-FI SERVICE	P0098321	OH009768	04/07/2018	86.40
00192496	04/26/2018	COMCAST 2018 High Speed Internet Conne	P0097871	OH009780	04/11/2018	163.37
00192497	04/26/2018	CRIMINAL JUSTICE TRAINING COMM LVNR Training for Officer Lum	P0099070	201130055	04/10/2018	50.00
00192498	04/26/2018	CRYSTAL SPRINGS coffee for starbucks machine	P0099148	13123243041318	04/13/2018	147.58
00192499	04/26/2018	DAILY JOURNAL OF COMMERCE AUBREY DAVIS MASTER PLAN	P0099119	3335706	04/11/2018	768.40
00192500	04/26/2018	ECO-CHEMICAL PAINTER & PAINT REMOVER FOR	P0099057	9503	02/27/2018	9,895.05
00192501	04/26/2018	FINANCIAL CONSULTANTS INT'L POLICE FL-0505 EQUIPMENT	P0099103	16044/90/93/107/	02/08/2018	77,471.48
00192502	04/26/2018	FINK, SHANEY Rental FA-0192 completed. Retu	P0099093	FA0192	04/18/2018	400.00
00192503	04/26/2018	FIRE PROTECTION INC FS91 CONFIDENCE TESTING FIRE A	P0099132	44092	04/13/2018	1,422.02

Accounts Payable Report by Check Number

Check No	Check Date	Vendor Name/Description	PO #	Invoice #	Invoice Date	Check Amount
00192504	04/26/2018	FLETCHER, BRUCE FLEX SPEND REIMB		14APR18	04/14/2018	500.00
00192505	04/26/2018	G&K SERVICES 2018 COVERALL/LAUNDRY SERVICE	P0099091	OH009781	03/31/2018	2,181.85
00192506	04/26/2018	GARDNER, BRENT WORK CLOTHES		OH009765	03/20/2018	163.05
00192507	04/26/2018	GENTINO, CATHERINE L FLEX SPEND REIMB		14APR18	04/14/2018	672.06
00192508	04/26/2018	GET Washington PAYROLL EARLY WARRANTS		27APR2018	04/27/2018	300.00
00192509	04/26/2018	GRAINGER INVENTORY PURCHASES	P0099028	9752987116/97531	04/10/2018	446.09
00192510	04/26/2018	GRAY, KATY S. Instructor fees - course #0168	P0099123	0168	04/19/2018	112.70
00192511	04/26/2018	GRC/WW SAFETY COMPETENT PERSON ESSENT	P0099104	1817	03/22/2018	1,500.00
00192512	04/26/2018	H D FOWLER INVENTORY PURCHASES	P0099074	14789255	04/10/2018	6,595.84
00192513	04/26/2018	HACH COMPANY 2100Q PORTABLE TURBIDIMETER	P0099073	10913763	04/10/2018	2,403.60
00192514	04/26/2018	HAGSTROM, JAMES FRLEOFF1 Retiree Medical Expen	P0099157	OH009782	04/24/2018	86.82
00192515	04/26/2018	HOME DEPOT CREDIT SERVICE WATER PUMP & CORDLESS DRIVER	P0099058	0168852072523	04/16/2018	907.78
00192516	04/26/2018	HORSCHMAN, BRENT FLEX SPEND REIMB		14APR18	04/14/2018	241.00
00192517	04/26/2018	INTERIOR FOLIAGE CO, THE CITY HALL INTERIOR LANDSCAPING	P0099129	39251	04/01/2018	545.16
00192518	04/26/2018	JOHNSON, CURTIS FRLEOFF1 Retiree Medical Expen	P0099150	OH009775	04/24/2018	380.87
00192519	04/26/2018	KC PET LICENSES KC PET LICENSE FEES COLLECTED	P0097862	OH009783	03/31/2018	75.00
00192520	04/26/2018	KC WATER AND LAND RESOURCES Rental FA-0699 completed. Retu	P0099096	FA0699	04/18/2018	50.00
00192521	04/26/2018	KIA MOTORS FINANCE DSG 2016 KIA SOUL LEASE	P94483	OH009777	04/16/2018	475.32
00192522	04/26/2018	KING CO PROSECUTING ATTORNEY COURT REMITTANCE KC CRIME VICT	P0097861	OH009784	03/31/2018	317.33
00192523	04/26/2018	KING COUNTY FINANCE MERCER ISLAND QUARTERLY UPDATE	P0099127	2097707	01/04/2018	589.00
00192524	04/26/2018	LEOFF HEALTH & WELFARE TRUST MAY 2018 FIRE RETIREES		OH009773	04/25/2018	59,123.55
00192525	04/26/2018	LEOFF HEALTH & WELFARE TRUST MAY 2018 POLICE RETIREES		OH009771	04/25/2018	61,957.67
00192526	04/26/2018	LONG BUILDING TECHNOLOGIES INC HVAC SOFTWARE UPGRADE	P0099071	JC132115	04/11/2018	3,588.20
00192527	04/26/2018	MANDEVILLE, TROY FLEX SPEND REIMB		14APR18	04/14/2018	1,530.00
00192528	04/26/2018	MASTERMARK S. Riddell Notary Stamp	P0099033	2523872	04/09/2018	37.27
00192529	04/26/2018	METROPRESORT March 2018 Printing and Mailin	P0098388	500865/501035/50	04/02/2018	2,259.51

Accounts Payable Report by Check Number

Check No	Check Date	Vendor Name/Description	PO #	Invoice #	Invoice Date	Check Amount
00192530	04/26/2018	MI EMPLOYEES ASSOC PAYROLL EARLY WARRANTS		27APR2018	04/27/2018	317.50
00192531	04/26/2018	MORUP SIGNS INC PAINTED & ROUTED PARKS SIGN	P0099056	43313	04/16/2018	940.51
00192532	04/26/2018	MULTICARE IMMEDIATE CLINIC Physical Exam - staff	P0099105	7234	04/09/2018	100.00
00192533	04/26/2018	NAPA AUTO PARTS 2018 FLEET REPAIR PARTS AND	P0098166	OH009785	03/31/2018	452.86
00192534	04/26/2018	NORTHWEST PUBLISHING CENTER Digital edition of spring/summ	P0099117	142045	03/31/2018	885.00
00192535	04/26/2018	NPM CONSTRUCTION CO PEDESTRIAN SIGNAL AT ICW @ SE	P0094878	#5	03/30/2018	5,129.87
00192536	04/26/2018	OAC SERVICES INC Groveland Dock Repair professi	P0099126	134329	04/13/2018	5,445.00
00192537	04/26/2018	OLYMPIC ENVIRONMENTAL RES 2018 ANNUAL RECYCLING EVENT	P0098751	2018OER2/OER3	02/28/2018	10,033.63
00192538	04/26/2018	OVERLAKE OIL 2018 FUEL DELIVERY	P0097948	0188136/0188137	04/19/2018	11,651.07
00192539	04/26/2018	PARKWAY CENTER MANAGEMENT GRP APRIL & MAY RENT PAYMENT		OH009763	04/25/2018	5,733.33
00192540	04/26/2018	PAULETTO, MAUDE Instructor fees plus drop ins	P0099108	17275/276/277	04/18/2018	1,205.05
00192541	04/26/2018	PIPP MOBILE STORAGE SYS INC Operating supplies for Thrift	P0099100	0000001958	04/10/2018	1,059.40
00192542	04/26/2018	POLICE ASSOCIATION PAYROLL EARLY WARRANTS		27APR2018	04/27/2018	2,388.61
00192543	04/26/2018	POLLARD WATER WATER DISTRIBUTION LEAK DETECT	P0098979	0105658	04/04/2018	5,263.95
00192544	04/26/2018	PONDEROSA PACIFIC INC RETAINAGE	P0096438	2017201RETAINAGE	04/17/2018	7,105.46
00192545	04/26/2018	POWERPLAN - OIB FL-0365 REPAIR PARTS	P0099092	FL0365	04/03/2018	152.75
00192546	04/26/2018	PRAXAIR DISTRIBUTION INC 2018 ACETYLENE & OXYGEN TANK R	P0098287	82258929	03/31/2018	48.29
00192547	04/26/2018	PUGET SOUND ENERGY Utility Assistance for Emergen	P0097804	OH009778	04/18/2018	746.05
00192548	04/26/2018	REININGER WINERY FA-0197 rental completed. Retu	P0099097	FA0197	04/18/2018	250.00
00192549	04/26/2018	REPUBLIC SERVICES #172 2018 PW ROW DISPOSAL/RECYCLING	P0098360	0172007425249	03/31/2018	5,526.02
00192550	04/26/2018	ROSENSTEIN, SUSIE Bryce Bogar, Betsy Bahan, Mari	P0099146	136/137	03/12/2018	675.00
00192551	04/26/2018	RRJ COMPANY LLC 8410 EMW HAUL OUT	P0097678	#3	03/31/2018	57,096.16
00192552	04/26/2018	SALZETTI, ERIC Instructor fees - course #0575	P0099122	0575/0570	04/19/2018	1,960.70
00192553	04/26/2018	SEATTLE'S CHILD Digital add - April	P0099107	201824356	04/12/2018	500.00
00192554	04/26/2018	SOLOMON, MEARA FLEX SPEND REIMB		14APR18	04/14/2018	1,538.48
00192555	04/26/2018	STRANGER, THE Advertising for Thrift Shop -	P0097805	318350C7/3180CE5	03/01/2018	1,200.00

Accounts Payable Report by Check Number

Check No	Check Date	Vendor Name/Description	PO #	Invoice #	Invoice Date	Check Amount
00192556	04/26/2018	SUMMIT SAFETY SHOES MISC. WORK CLOTHES	P0099109	5039622	04/03/2018	157.74
00192557	04/26/2018	T-MOBILE 2018 Service for Boat Launch T	P0097872	OH009779	04/09/2018	20.00
00192558	04/26/2018	TYLER TECHNOLOGIES INC E-Parking Hardware Solution -	P0097309	03014354	03/31/2018	3,248.53
00192559	04/26/2018	ULINE Operating supplies for Thrift	P0099120	96185462/23590	03/28/2018	1,281.60
00192560	04/26/2018	UNITED SITE SERVICES Portable restroom rental - Isl	P0097942	1146601760/61/62	04/11/2018	1,089.53
00192561	04/26/2018	UNITED WAY OF KING CO PAYROLL EARLY WARRANTS		27APR2018	04/27/2018	105.00
00192562	04/26/2018	UPS SHIPPING CHARGES		0000T6781T158	04/04/2018	13.96
00192563	04/26/2018	US BANK CORP PAYMENT SYS AMAZON MKTPLACE PMTS WWW.		MARCH18 -5539	04/06/2018	38,438.79
00192564	04/26/2018	WEATHERNET LLC MONTHLY WEATHER SERVICES 1/1//	P0099080	1ST QTR 2018	01/01/2018	1,470.00
00192565	04/26/2018	WRPA WRPA Conference - Ken Brooks	P0099147	3459	04/23/2018	698.00
00192566	04/26/2018	WSCCCE AFSCME AFL-CIO PAYROLL EARLY WARRANTS		27APR2018	04/27/2018	2,642.77
00192567	04/26/2018	YAMASHITA, M PATRICK FLEX SPEND REIMB		14APR18	04/14/2018	2,599.58
00192568	04/26/2018	ZEE MEDICAL Quarterly supply City Hall	P0099172	86349036	02/01/2018	115.83
					Total	<u>489,302.04</u>



CITY OF MERCER ISLAND CERTIFICATION OF PAYROLL

PAYROLL PERIOD ENDING 4.20.18
PAYROLL DATED 4.27.18

Net Cash	\$	542,295.66
Net Voids/Manuals	\$	15,049.60
Net Total	\$	557,345.26

Federal Tax Deposit - Key Bank	\$	89,892.56
Social Security and Medicare Taxes	\$	49,787.49
Medicare Taxes Only (Fire Fighter Employees)	\$	2,556.82
Public Employees Retirement System 1 (PERS 1)		
Public Employees Retirement System 2 (PERS 2)	\$	29,845.04
Public Employees Retirement System 3 (PERS 3)	\$	6,444.67
Public Employees Retirement System (PERSJM)	\$	764.36
Public Safety Employees Retirement System (PSERS)	\$	280.32
Law Enforc. & Fire fighters System 2 (LEOFF 2)	\$	27,409.63
Regence & LEOFF Trust - Medical Insurance	\$	12,559.84
Domestic Partner/Overage Dependand - Insurance	\$	1,316.03
Group Health Medical Insurance	\$	1,107.29
Health Care - Flexible Spending Accounts	\$	2,356.79
Dependent Care - Flexible Spending Accounts	\$	1,673.09
United Way	\$	105.00
ICMA Deferred Compensation	\$	34,366.25
Fire 457 Nationwide	\$	17,037.53
Roth - ICMA	\$	50.00
Roth - Nationwide	\$	620.00
401K Deferred Comp		
Garnishments (Chapter 13)	\$	1,331.00
Child Support	\$	599.99
Mercer Island Employee Association	\$	317.50
Cities & Towns/AFSCME Union Dues	\$	2,642.77
Police Union Dues	\$	2,388.61
Fire Union Dues	\$	1,961.40
Fire Union - Supplemental Dues	\$	151.00
Standard - Supplemental Life Insurance	\$	324.30
Unum - Long Term Care Insurance	\$	740.70
AFLAC - Supplemental Insurance Plans	\$	808.85
Coffee Fund	\$	96.00
Transportation	\$	125.00
HRA - VEBA	\$	4,351.27
Miscellaneous		
Nationwide Extra		
GET	\$	300.00
Tax & Benefit Obligations Total	\$	294,311.10

TOTAL GROSS PAYROLL \$ 851,656.36

I, the undersigned, do hereby certify under penalty of perjury that the materials have been furnished, the services rendered or the labor performed as described herein, that any advance payment is due and payable pursuant to a contract or is available as an option for full or partial fulfillment of a contractual obligation, and that the claim is a just, due and unpaid obligation against the City of Mercer Island, and that I am authorized to authenticate and certify to said claim.

Charles L. Conder

Finance Director

I, the undersigned, do hereby certify that the City Council has reviewed the documentation supporting claims paid and approved all checks or warrants issued in payment of claims.

Mayor

Date



BUSINESS OF THE CITY COUNCIL
CITY OF MERCER ISLAND, WA

AB 5413
May 1, 2018
Public Hearing

2019-2024 TRANSPORTATION
IMPROVEMENT PROGRAM PUBLIC
HEARING & REVIEW

Action:
Conduct public hearing and review
draft TIP.

- Discussion Only
Action Needed:
Motion
Ordinance
Resolution

Table with 2 columns: Category and Description. Rows include DEPARTMENT OF (Public Works), COUNCIL LIAISON (n/a), EXHIBITS (1-6), 2018-2019 CITY COUNCIL GOAL (1), and APPROVED BY CITY MANAGER.

Table with 3 columns: Category, Amount, and Value. Rows include AMOUNT OF EXPENDITURE, AMOUNT BUDGETED, and APPROPRIATION REQUIRED, all with values of \$ n/a.

SUMMARY

BACKGROUND

The Six-Year Transportation Improvement Program (TIP) is a planning tool used to identify specific projects that work together to maintain, preserve, and maximize use of the existing roadway and trail systems.

RCW 35.77.010 requires cities to formally adopt a TIP annually and submit it to WSDOT and the Puget Sound Regional Council (PSRC) by July 1. Updates to the TIP often reflect changes in priority, cost, resources, and needs.

The draft TIP is an update of the 2018-2023 version adopted by the City Council in 2017. Individual projects/programs are linked together where feasible to create economies of scale for construction.

It includes transportation improvement projects and programs in the following seven categories for 2019-2024:

1. Residential Street Preservation
2. Town Center Street Improvements
3. Arterial Street Improvements
4. Pedestrian and Bicycle Facilities (PBF) – New Facilities
5. East link Traffic Safety Mitigation projects
6. Transportation Operations, Maintenance and CIP Management
7. Unfunded Projects

On May 1, staff is seeking general feedback on the draft 2019-2024 TIP in addition to conducting the public hearing. The TIP will be updated based on Council direction and presented for adoption at the June 5 Council meeting.

PUBLIC COMMENTS

The formal public comment period for the TIP was January 22 to February 12, 2018. Notices advertising the opportunity for public comment were displayed on the City's website, posted in the Mercer Island Weekly (January 18 and 25) and in the Mercer Island Reporter (January 17 and February 7). Additional information was provided on the City's TIP webpage (www.mercergov.org/TIP). The site provides users with easy access to TIP maps, FAQ's, and related information to learn more about the TIP process and to submit comments online. Exhibit 2 summarizes comments received during the public comment period.

Public comment will also be taken during the public hearing for the TIP at the May 1 Council meeting. The legal notice for the public hearing was published in the Mercer Island Reporter on April 18 and on April 26.

Several comments received this year requested pedestrian improvements through the SE 27th St/74th Ave SE curve near the North Mercerdale Hillside Park. Working with Parks, Public Works staff will complete this project in 2018 utilizing funds available from the 2018 PBF Plan Implementation and the neighborhood drainage projects. Non-TIP related comments regarding signage, vegetation trimming, pavement marking, street lighting, etc., are operational issues addressed outside the TIP. Public comments related to 'Other Transportation' or the 'East Link Mitigation' project categories, were forwarded to appropriate staff to be addressed outside the TIP.

Other comments received this year were related to:

- Support for the completion of the North-South Bike Route
- Support for the completion of shoulder improvements on East and West Mercer Ways
- Improvements to walking routes on multiple streets

STREET FUNDING

The TIP is funded by a combination of revenues which includes:

- Real Estate Excise Tax (REET),
- Motor Vehicle Fuel Tax (MVFT),
- Vehicle License Fees from the Mercer Island Transportation Benefit District (TBD),
- Transportation Impact Fees (approved by Council in January 2016),
- Multimodal Transportation (approved by the State as part of ESSB 5987 in July 2015) and
- Grants (when they are available).

Except for REET, all revenues are dedicated solely to the Street Fund. REET has been split evenly between the Street Fund (including Street and PBF projects) and the Capital Improvement Fund (including Park and City Building projects) since 2009. The proposed TIP is balanced through the six-year planning period without a projected negative fund balance.

Starting with the adoption of the 2010-2015 TIP, and for the following seven adopted TIPs, plans have been adopted with projected negative fund balances in the later years (of the six-year program) and/or with some placeholders for unfunded projects. The 2018-2023 TIP was adopted last year with a positive ending fund balance for the first time in seven years. This was due in part to the addition of the TBD vehicle license fee and traffic impact fees. There is an ongoing desire among some Councilmembers, City staff, and the public to construct more PBF improvements (e.g., completing the Mercer Way shoulders, walk routes, and bike routes). However, there are competing needs for REET funding from park, open space, and public building projects. The TBD vehicle license fee generates approximately \$375,000 per year for a \$20 tab per vehicle.

For a detailed discussion of financial information about the 2019-2024 TIP, see Exhibit 1.

PROGRAM ELEMENTS

The following describes the TIP categories and follow the same order as the Detail of Expenditures in Exhibit 3. For a map of these projects, refer to Exhibit 4. For specific project descriptions, refer to Exhibit 5.

Residential Street Preservation Program [Category A]

This program restores and resurfaces the City's 58 miles of public residential streets on an approximate 35-year cycle. Over the last eight years, approximately 10.5 miles of residential streets have been resurfaced with a Hot Mix Asphalt (HMA) overlay and 2.2 miles have been resurfaced with a chip seal. This combined mileage accounts for 22% of the residential street network. HMA overlay construction for residential streets costs approximately \$350,000 to \$400,000 per road mile. Chip seal and slurry seal, which cost significantly less per road mile, were added to the program in 2012. The residential program also improves substandard streets in public right-of-way at the rate of roughly one per biennium, as the need arises. Selection and timing of residential resurfacing work is based upon Pavement Condition Index (PCI) ratings as well as planned water, sewer, and storm drainage utility work.

Town Center Street Improvements [Category B]

The arterial streets located within the Town Center District serve as access to retail, commercial, office, transit, and residential uses in and around the Town Center. These streets account for 10% of the City's 26 miles of arterial roadways. A large portion of these streets were rebuilt in 1994 and 1996. Parts of others have been rebuilt over the last ten years in conjunction with several redevelopment projects. The current TIP allocates funds for some resurfacing work as well as reconstruction of sidewalk areas that were not replaced by either the 1994/1996 projects or recent development projects.

Arterial Street Improvements [Category C]

This category provides preservation and improvement of the City's other 23.5 miles of arterial streets outside of the Town Center on an approximate 25-year life cycle. Project priorities are based on PCI, the need for underground utility improvements, condition of pedestrian and bicycle facilities, and timing of other large projects. These projects incorporate reinvestment in existing pedestrian and bicycle facilities. Residential street overlays are linked when feasible to arterial street projects to create an economy of scale. In the next six years, resurfacing projects are planned on portions of all three Mercer Ways, SE 40th St, SE 68th St, SE 70th Pl, Gallagher Hill Road, and SE 36th St.

Pedestrian and Bicycle Facilities (PBF) – New Facilities [Category D]

This category improves and adds to the pedestrian and bicycle facilities network. Specific projects are based primarily on those identified in the 2010 PBF Plan, with input from the community and the School District. PBF “reinvestment” projects such as asphalt overlays of existing pedestrian paths adjacent to arterial street improvements are not included in this category. Rather, they are included in the scopes of their associated arterial street improvement projects. Future PBF projects identified in this TIP include additional roadside shoulder improvements on East and West Mercer Ways, crosswalk improvements at the SE 36th St/North Mercer Way intersection, and a sidewalk improvement for Gallagher Hill Road. This category also includes funding to implement ADA compliance improvements, pedestrian improvements on Mercerwood Drive, design of the North-South Bike Route missing link on Island Crest Way, and an update to the PBF Plan.

The Roadside Shoulder Development Program was established in 2002 to create new paved shoulders suitable for pedestrian and bicycle use on the Mercer Ways. Since that time, numerous phases of work have been completed. While most of these have been on East Mercer Way, improvements have also been made on North and West Mercer Ways. Exhibit 6 shows the current status of the Roadside Shoulder Development Program.

East Link Traffic/Safety Mitigation Projects [Category E]

The East Link light rail line is scheduled to open for service in 2023. The project is anticipated to degrade level of service (LOS) at some Mercer Island intersections and impact safety in several roadway corridors and intersections. The expected impacts are the result of traffic associated with East Link, closure of the I-90 center roadway, and restricted access to the Island Crest Way (ICW) westbound on-ramp to the new high occupancy vehicle (HOV) lane.

In June 2017, the Federal Highway Administration restricted access of single occupant vehicles (SOVs) in the new R-8A HOV lanes. This restriction does not allow SOVs to access the new R-8A HOV lanes nor the ICW westbound HOV on-ramp. This prohibition has required Mercer Island SOVs to take alternate routes to access the mainline on-ramps to I-90 at 76th Ave SE, West Mercer Way, and East Mercer Way.

In 2017 the City entered into a settlement agreement (Agreement) with the Central Puget Sound Regional Transit Authority (Sound Transit). The Agreement will reimburse the City for reasonable costs, not to exceed \$5.1 million, to fund traffic/safety enhancements related to the effects of the center roadway closure and HOV-only use of the R-8A HOV lanes. These traffic/safety enhancements may include temporary and permanent improvements to intersections, traffic signals, traffic signal coordination, new signage, new or improved crosswalks, road widening or restriping, and traffic calming. Should the total traffic/safety enhancements cost less than the \$5.1 million, the remaining funds may be applied to improving Last Mile solutions or Aubrey Davis Park improvements.

On December 5, 2017, the City Council received an update on the Sound Transit settlement agreement (see [AB 5370](#)). This included a discussion on traffic safety and mitigation.

After the closure of the I-90 center roadway on June 3, the City hosted a Traffic & Safety Community Meeting on June 22 to kick-off an extensive community engagement process in preparation for a Traffic Congestion Mitigation and Safety Improvement Plan. The goals of the initial meeting were to share the most current data that Transpo Group and KPG, the City’s traffic consultants, collected before and after the closure of the I-90 Center Roadway. Immediately following the Center Roadway closure, the City conducted a survey of westbound commuters and received approximately 300 responses and the results were shared at this meeting. Approximately 50 participants and a number of Councilmembers attended.

On November 29, the City hosted a second Traffic & Safety Community Meeting to report out the data collected in the summer following the center roadway closure, and in the fall, as well as identifying “hot

spots” and possible solutions. The presentation for this meeting is included in Exhibit 4 of [AB 5370](#). Again, approximately 50 participants and several Councilmembers attended.

Staff developed the draft TIP based on the community’s feedback, analysis of traffic patterns following closure of the center roadway, and anticipated needs for pedestrian safety improvements on routes to the light rail station. The proposed projects include:

- Signal interconnect coordination along the Island Crest Way to North Mercer Way corridor (the ‘Big-Left’) and along SE 27th St in the Town Center designed to provide signal coordination to improve LOS and traffic flow.
- PBF improvements at several key I-90 trail crossings including West Mercer Way, Sunset Highway/77th Ave SE, 76th Ave SE/SE 24th St, and at mid-block crossings in the Town Center along 76th Ave SE and SE 27th designed to facilitate enhanced walking and biking for access to the Sound Transit station and improve vehicle flow.
- Emergency Signal (Island Crest Way/SE 30th St) for enhanced emergency access to I-90 as requested by the Fire Department.
- Speed feedback signing near West Mercer Elementary on SE 40th St and on West Mercer Way, as requested by the Police Department. Speed feedback signs are an effective educational tool utilized for reinforcing safe driving practices near schools.
- A ‘to be determined’ project reserved in 2024 to mitigate impacts following the light rail station opening and operating.

The sub-total of work proposed for identified East Link Traffic/Safety Mitigation projects totals \$3.025 million. This leaves approximately \$2.075 million in funds that have not been identified for Traffic/Safety projects, that the Council could choose to apply to improving Last Mile solutions or Aubrey Davis Park improvements. Per the terms of the Agreement, projects must be complete and submitted for reimbursement by December 2025.

Transportation Operations, Maintenance and CIP Management [Category F]

These sections cover costs that are either associated with Transportation Operations and Maintenance or are CIP Management costs which support the overall Street Capital program. Transportation Operations and Maintenance costs include: (1) an annual Pavement Marking Replacement program to replace worn, damaged, or missing pavement markings (i.e. crosswalks, stop bars, arrows, bike symbols, raised pavement markers) on the Island’s road network, (2) an annual ROW Tree Maintenance program to identify, evaluate, and remove hazardous trees within the public right-of-way, (3) annual support to DSG Right of Way Inspections, and (4) Metro Transit Shuttle Service, an on-going program to co-fund with King County, bus shuttle services on Route 630 to connect the Mercer Island community with downtown Seattle. In 2017, a Tree Assessment survey was added to the ROW Tree Maintenance program, focused on assessing the condition of trees in the Mercer Ways right-of-way. These costs will be discussed in more detail during the review of the proposed 2019-2020 Operating Budget in October 2018.

Capital Project Management, Engineering, and Overhead costs include: staff and management costs not directly associated with capital projects, and Mobile Asset Data Collection which is a recurring project to collect pavement distress information to produce Pavement Condition Index (PCI) ratings (2019 and 2022) for the Island’s road network.

NEW PROJECTS AND CHANGES TO CONSIDER FROM THE PREVIOUS TIP

The following is a summary of the noteworthy changes made to the approved 2018-2023 TIP to develop the draft 2019-2024 TIP.

1. Town Center Street Improvements

In previous TIPs, the Town Center Street work has been primarily scoped as the resurfacing of those roadways not repaved as part of the 1994/1996 street reconstruction efforts. Timing of this resurfacing has been moved several times, due to ongoing large scale redevelopment projects that have impacted pavements and sidewalks, as well as the Town Center pavements holding relatively steady PCI scores, generally in the Satisfactory range. Prior TIPs had programmed approximately \$1,000,000 for North and South Town Center paving projects in 2020.

Staff now believes that the scope of the Town Center Streets needs to change significantly, to be less about pavement condition and more about sidewalk replacement and improved ADA accessibility. For the last several years, City Public Works Staff have been grinding and shimming Town Center sidewalk areas lifted by tree roots in an effort to keep the sidewalks serviceable. Unfortunately, these short term repairs can only go on for so long, and eventually large areas of sidewalk need to be replaced.

In this year's TIP, Staff proposes changing the Town Center Streets project scope to include a pilot project to remove and replace existing damaged sidewalks and the street trees within them with a new design that will allow for trees to grow and mature without damaging the new sidewalks. The roadways of primary concern are 78th Ave SE from SE 32nd to SE 34th St, and 80th Ave SE from SE 27th to SE 32nd St (along the east side). These areas did not receive improvement as part of the 1994/1996 street projects and they suffer from street trees with large root masses, broken and uneven sidewalks, and non-compliant ADA curb ramps. Staff proposes a 78th Ave SE Sidewalk [B1] project be constructed in 2020 and an 80th Ave SE Sidewalk [B2] project be constructed in 2022. Work would include new curbs, new wider sidewalks, new tree planting areas, and new street trees. Design efforts would begin in the previous year for both of these projects.

Town Center Streets – North [B3] will be retained at a smaller scale, and will include the grind and overlay of SE 27th Street from 76th Avenue to 80th Avenue, reprogrammed for 2022.

2. Arterial Street Improvements

Arterial projects can vary in scope from substantial reconstruction (as seen on SE 40th St in 2015), to hot mix asphalt overlays (Island Crest Way in 2016), to chip seals (Mercerwood Dr in 2013). Staff utilizes PCI data to help determine the scope and timing of arterial street projects. With the successful chip sealing of Mercerwood Dr, staff believes that this less expensive resurfacing technique can be used effectively to preserve some of the arterial pavements that are in Fair condition. While a chip seal may not last as long as a hot mix asphalt (HMA) overlay, it can significantly extend a roadway pavement's life for a fraction of the cost of a HMA overlay. This is a good alternative for roadways with adequate pavement structure; however, not all roads are suitable for chip sealing and staff will continue to evaluate each arterial project for the appropriate pavement preservation method. Newly proposed arterial projects for this TIP focus on preserving existing roadways with a combination of chip seals and asphalt overlays:

- West Mercer Way (SE 56th St to East Mercer Way) [C7] – This roadway is proposed for a chip seal resurfacing in 2021. The change in this project is extending the north limit from SE 72nd St to SE 56th St, which doubles the length of the project. The extended project now will cover the full distance of the previous 1995 overlay.
- Gallagher Hill Road (SE 36th St to SE 40th St) [C8] – This HMA overlay project has been moved from 2022 to 2023.
- SE 40th St (88th Ave SE to Gallagher Hill Rd) [C9] – This is a new project proposed for 2023 to resurface this short segment of SE 40th St with a grind and overlay process. This project would be constructed after completion of major water main improvements in the nearby Madrona Crest East neighborhood in 2022 (which will also impact this part of SE 40th). The SE 40th St work will be coupled with the Gallagher Hill Road resurfacing project, also planned for 2023.

- SE 36th St (Gallagher Hill Rd to East Mercer Way) [C10] – This HMA overlay project has been moved from 2023 to 2024.

3. Pedestrian and Bicycle Facilities (PBF)

- West Mercer Way Roadside Shoulders - Phase 2 and 3 [D4] - The current TIP (2018 – 2023) includes a West Mercer Way Phase 2 project in 2020 from the 7400 block to SE 70th St. For this year's TIP update (2019 – 2024), staff recommends adding a new West Mercer Way Phase 3 project in 2024. This new project would begin at SE 70th St (connecting with the Phase 2 work) and extend north to SE 65th St, where it will connect to the existing paved shoulder. This new proposal follows staff's schedule to construct one new roadside shoulder project per biennium.
- Mercerwood Dr (92nd Ave SE to 93rd Ave SE) [D7] – This new project will design and construct a pedestrian facility along the south side of Mercerwood Drive. This new facility will provide a connection to the existing pathway that begins at 92nd Ave SE, providing a continuous walking route to the Mary Wayte Pool, Northwood Elementary, and Homestead Field. This project is a high priority request by School District staff and supports Safe Routes to School. Staff proposes design and construction in 2024.
- Island Crest Way (90th Ave SE – SE 63rd St) [D8] – This new project will allocate funding for the design of a missing link in the North-South Bike Route. This section of North-South Bike Route is a high priority for Neighbor's in Motion (NIM) and will complete a missing section of bicycle route along the southern portion of Island Crest Way (between approximately Island Park Elementary and Pioneer Park). Staff is proposing scoping and design in 2024. A project for construction would be funded in a future year, still to be determined.
- PBF Plan Update [D9] – The current PBF Plan was last updated in 2010. Over time standards have changed, and new facilities (Northwood Elementary and the Sound Transit Link Light Rail Station) are being built. While the current Plan identifies deficiencies in the pedestrian and bicycle network, it does not identify specific projects or priorities of work. Updates to the Plan will evaluate projects and priorities intended to provide a roadmap and foundation for future improvements. Staff proposes this new project for the 2019-2020 biennium.

4. East Link Traffic Safety Mitigation Projects

- Signal Interconnect Coordination – SE 27th St Corridor [E1a] and Island Crest Way to North Mercer Way (the 'Big-Left') [E1b] – provide signal coordination along these traffic corridors to improve LOS and traffic flow. This project is proposed in 2023.
- PBF Improvements I-90 Trail Crossing at West Mercer Way [E2a] –This trail crossing is adjacent to the I-90 ramps to Seattle and has experienced an increase in traffic due to the center roadway closure. This location is heavily used by pedestrians and bicyclists due to the proximity to Aubrey Davis Park fields, and the I-90 trail. Design is proposed in 2019 with construction in 2020.
- PBF I-90 Trail Crossing at Sunset Highway/77th Ave SE [E2b] – This intersection is directly adjacent to the East Link station access and is expected to experience an increase in pedestrian and bicycle traffic, as well as vehicle traffic once the station opens. Design is proposed in 2021 with construction in 2022.
- PBF I-90 Trail Crossing at 76th Ave SE/SE 24th St [E2c] –This intersection is expected to experience an increase in pedestrian and bicycle traffic, as well as vehicle traffic once the station opens. Design is proposed in 2023 with construction in 2024.

- PBF Mid-block TC Crossings [E2d] – Design and construct improvements at mid-block locations along SE 27th St and along 76th Ave SE to improve and enhance walkability and circulation in the Town Center and to the Sound Transit station. Locations to be determined based on need and circulation and are proposed for design and construction in 2021 and in 2023.
- Emergency Signal (ICW & SE 30th St) [E3] – Design and construct an emergency signal on Island Crest Way to facilitate emergency access for the Fire Department to access I-90. This project will require coordination with WSDOT. Design is proposed for 2023, with construction in 2024.
- Speed Feedback Signing (SE 40th St and WMW) [E4] – Installation of speed feedback signage along SE 40th St and along West Mercer Way vicinity of West Mercer Elementary. Both roads are School Zones and are signed for 20 MPH on school days prior to and after school, supporting children walking to school. Both roads have experienced an increase in traffic due to the center roadway closure. The speed feedback signs are an educational tool, reinforcing safe driving practices near this school.

LOOKING AHEAD - Unfunded Projects

Several PBF projects are unfunded pending further evaluation of scope and confirmation of need during the next year. They include:

- 92nd Ave SE (SE 40th to SE 41st St) – Gap completion in PBF network.
- 84th Ave SE (SE 33rd to 36th St) – Enhance existing gravel path with curb, gutter, and sidewalk.
- Island Crest Way (90th Ave. SE – SE 63rd St) – Construct gap in north-south bike route. Design is programmed for 2024.
- 86th Ave SE (SE 42nd St to Island Crest Way) – Gap completion in PBF network.

SUSTAINABLE PRACTICES

The TIP and City maintenance practices continue to move toward creating a sustainable transportation system. Some components of developing Mercer Island's sustainable transportation system include:

- Recycled asphalt pavement in road base, hot mix asphalt, and utility trenches where appropriate.
- Low Impact Development (LID) techniques where feasible.
- Proactive maintenance of streets and drainage systems through ongoing street sweeping and catch basin cleaning programs to protect water quality.
- Reducing energy costs through efforts such as converting streetlights to LED where cost effective. The ornamental streetlights in the Town Center were converted to LED in 2013 and the remaining lights in the Town Center were converted in 2014-2015. All other new street light requests install LED fixtures, including 16 new LED street light conversions this year.

Frequent street sweeping is a Best Management Practice (BMP) that helps protect water quality by capturing pollutant-containing grit before flowing into streams or Lake Washington. Currently, the City's street sweeper is out working at least three days a week. It increases to five days a week during winter months due to vegetation and debris. The Town Center is swept at least weekly. The Mercer Ways and other arterials are swept on a similar schedule, particularly when storms create heavier than normal debris. Residential streets are swept a minimum of twice per year. Sweeping also is provided as requested when warranted by special conditions.

MOBILE ASSET DATA COLLECTION & PAVEMENT CONDITION RATINGS

As part of the ongoing effort to cost-effectively maintain the City's street network, staff contract for pavement condition assessments every three to four years (2009, 2013, and 2016). The data collected has produced

a Pavement Condition Index (PCI) value for each of the over 700 segments of pavement within the City's 83.5-mile public road network. This rating process is based on collecting visual pavement distress information and computing it into numerical deduction values which are subtracted from a highest possible score of 100, resulting in a PCI score between 0 and 100. These numerical scores have been bracketed into six named conditions: Good (PCI 100-86), Satisfactory (85-71), Fair (70-56), Poor (55-41), Very Poor (40-26), and Failed (25-0).

The health of Mercer Island's road network can generally be determined by three indicators: the average network PCI, the amount of backlog (defined as PCI below 50), and the amount of network in Good condition (PCI 100-86). The 2013 data gave the City's network an average PCI score of 77. This is considered an above-average grade in the pavement rating industry. The 2013 backlog of 7.8% was considered low (below 15% is desirable) and the amount of Good condition streets at 32% was considered high (should be at least 15%).

For 2016, the City's road network condition dropped slightly, to an average PCI score of 75. The backlog dropped to 4.0% and the amount of Good condition streets dropped to 25%. Over the last three years there has been focus on repaving some of the worst streets and lowering the backlog. Given the large amount of resurfacing work planned in the next three years, staff predicts that these indicators will improve in the next PCI data set.

Staff has used the 2013 and 2016 PCI information as the basis for prioritizing street resurfacing projects within the TIP. Because pavement conditions change over time, data collection needs to be an ongoing process, and staff recommends that this occur every three years. The next PCI data collection project is currently scheduled for 2019.

Traffic Sign Retro Reflectivity (TSRR) and complete traffic sign inventory data was collected in conjunction with the 2016 PCI project. This sign data is enabling staff to prioritize traffic sign replacements to comply with the requirements of the Manual on Uniform Traffic Control Devices (MUTCD), the Federal standard for traffic control devices. The TSRR and sign inventory will be updated with each future MADC project.

SUMMARY

Staff is seeking general feedback on the draft 2019-2024 TIP, in addition to conducting the public hearing.

RECOMMENDATION

City Engineer

MOVE TO: Receive comments from the public hearing and provide feedback to staff.

SIX-YEAR TRANSPORTATION PROGRAM

Financial Information (2019-2024)

Street Fund Revenues

The main revenues to the Street Fund for the six year planning period (2019-2024) are Real Estate Excise Taxes (REET), Fuel Taxes, Vehicle License Fees, and Transportation Impact Fees. Approximately 68% of the revenue to the Street Fund for the planning period is forecast to come from REET. An additional 15% is forecast to come from Fuel Taxes over the six year planning period. Vehicle license fees are forecast to make up 12% of the revenue to the Street Fund. The final 5% of revenue will be made up of Transportation Impact Fees, payments from the City of Seattle (for Transit Shuttle Services), Multimodal Transportation funds, and grants. During the 2019-2024 planning period, significant funding is anticipated to come from Sound Transit in associate with Eastlink mitigation projects. Note that this funding has been excluded from the percentage breakdown listed above.

Real Estate Excise Tax

REET is the 0.5% tax paid by the seller in property transactions (sales of residential and commercial property). State law restricts the use of REET for specific capital purposes. REET 1 (the 1st quarter of 1% of the sales price) may be used for streets, parks, facilities or utilities. REET 2 (the 2nd quarter of 1% of the sales price) may be used for streets, parks, or utilities, but may not be used for facilities. Neither REET 1 nor REET 2 may be used for equipment or technology. City budget policies allocate all of REET 2 to the City's Street Fund. REET 1 is allocated to the City's CIP Fund for parks and facilities.

REET is a volatile revenue source since its base (home sales) is highly dependent on economic conditions and interest rates. REET revenues were very strong in 2007. However, in conjunction with the Great Recession, the number of property sales dropped significantly (2008 and 2009), followed by a slow recovery in the number of sales (2010-2012). During that same time period, the Street Fund balance was drawn down, as reinvestment in existing streets and investment in new Pedestrian and Bicycle facilities continued. Since 2012, the average sales price for homes has climbed, while the number of sales (2013-2017) returned to close to the long term average of 500 per year.

HISTORICAL REAL ESTATE EXCISE TAX (2008-2017) Dollars in Thousands

Property Sale Breakdown	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017
Property Sales ≤\$5.0M:										
Average Sales Price	\$1,237	\$854	\$994	\$916	\$899	\$1,046	\$1,119	\$1,182	\$1,318	\$1,483
% Change in Avg Sales Price		-30.9%	16.3%	-7.8%	-1.9%	16.4%	7.0%	5.6%	11.5%	12.5%
Number of Property Sales	260	267	318	367	418	492	493	499	454	490
REET Revenue	\$1,592	\$1,129	\$1,565	\$1,665	\$1,860	\$2,548	\$2,742	\$2,919	\$2,955	\$3,597
Property Sales >\$5.0M:										
Number of Property Sales	5	3	3	5	6	2	9	10	7	14
REET Revenue	\$755	\$129	\$642	\$162	\$300	\$57	\$527	\$350	\$746	\$2,093
Total REET Revenue	\$2,347	\$1,258	\$2,207	\$1,827	\$2,160	\$2,605	\$3,269	\$3,269	\$3,701	\$5,690

<u>Change in Average Sales Price Statistics (sales <= \$5.0M)</u>		<u>Number of Sales Statistics</u>	
High (2017)	12.5% Increase	High (2015)	509
Low (2009)	30.9% Decrease	Low (2008)	265
5 Year Average (2013-2017)	10.6%	5 Year Average (2013-2017)	486
10 Year Average (2008-2017)	4.4%	10 Year Average (2008-2017)	406

Of particular note are the following:

- Several commercial property sales generated extraordinary REET during the last 10 years, as follows:
 - 2008 Island Square (\$110M) – generated \$545K in REET
 - 2010 Shorewood Apartments (\$109.9M) – generated \$544K in REET
 - 2016 77 Central (\$96.8M) – generated \$479K in REET
 - 2017 Shorewood Apartments (\$209.7M), Hadley Apartments (\$95.2M), and Island Corporate Center (\$41.0M) – generated \$1.7M in REET
- The City's average home price continued to rise until 2008, reaching a high of \$1.2 M, then reflecting the downturn in regional housing prices, dropped over 30% in 2009 to an average home price of \$854,485, and slowly recovered in 2010 to 2012. The average home price has continued to rise at a record pace for the last 5 years (2013-2017), reflecting buyer demand in excess of housing supply.
- Also reflecting the downturn in the regional real estate market, the number of sales dropped to a low of 260 in 2008. The past 10 year average for number of home sales was 406. The historical average (before 2008) was 500 sales per year.

The 2018-2024 REET forecast is summarized in the table below:

FORECASTED REAL ESTATE EXCISE TAX (2018-2024)
Dollars in Thousands

Year:	2018	2019	2020	2021	2022	2023	2024
Property Sales ≤\$5.0M:							
Forecasted average sales price	\$1,557	\$1,619	\$1,684	\$1,751	\$1,821	\$1,894	\$1,970
Change in average sales price	5%	4%	4%	4%	4%	4%	4%
Forecasted number of sales	450	450	450	425	425	425	425
Forecasted REET Revenue	\$3,468	\$3,607	\$3,751	\$3,685	\$3,832	\$3,985	\$4,145
Property Sales >\$5.0M:	\$300	\$300	\$300	\$300	\$300	\$300	\$300
Total REET Revenue	\$3,768	\$3,907	\$4,051	\$3,985	\$4,132	\$4,285	\$4,445

The assumptions employed in the forecast are as follows:

- The average home sale price is projected to grow at an annual rate of 5% in 2018 and 4% in 2019-2024.
- The number of property sales, which has been very close to 500 in 4 of the last 5 years, is expected to decrease to 450 in 2018-2020, and decrease further to 425 in 2021-2024, based on a projected decline in the number of property listings.

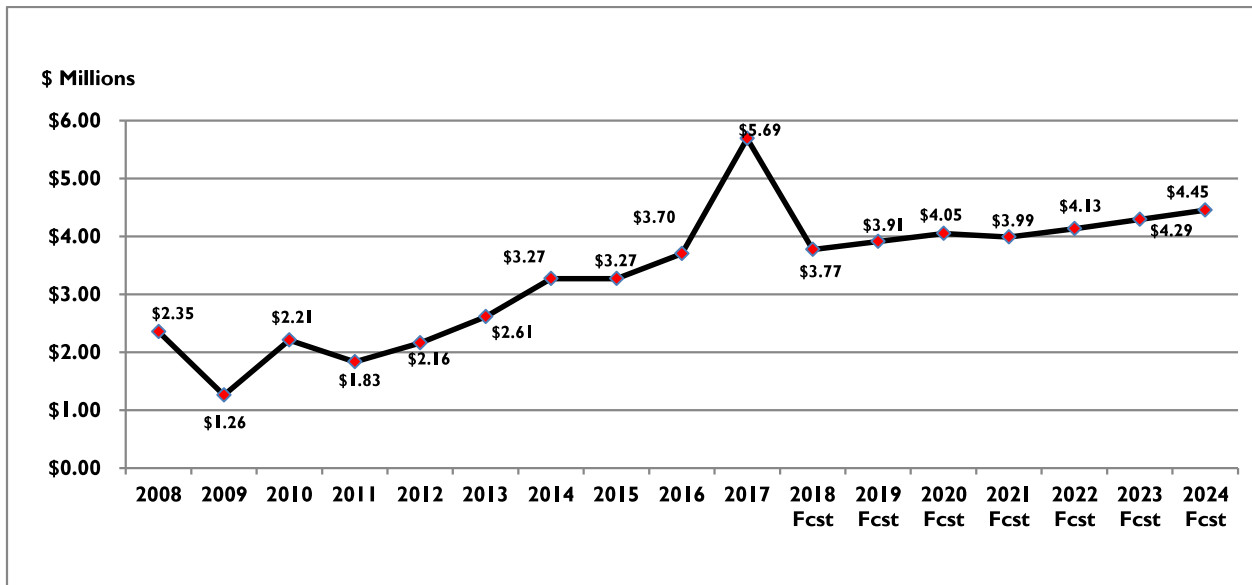
- Staff's forecast was influenced by The Puget Sound ECONOMIC FORECASTER (December 2017), which predicts an increase in the average home sale price of 4.2% in 2018 and 2.1% in 2019 and a decline in the number of sales in 2018 and 2019 (see table below).

PUGET SOUND REAL ESTATE ACTUAL AND FORECAST (2016-2019)
Dollars and Number of Sales in Thousands

Year:	2016	2017	2018	2019
Average sale price	\$ 466.3	\$ 519.4	\$ 541.2	\$ 552.7
Change in average sales price	9.8%	11.4%	4.2%	2.1%
Number of property sales (thousands)	71.2	72.8	69.8	67.8

Both historical REET (2008-2017) and forecasted REET (2018-2024) are presented in the graph below. **Note that 50% of the total REET forecast (REET 2) is revenue to the Street Fund.**

REET Revenues
2008-2017 Historical and 2018-2024 Forecast



Motor Vehicle Fuel Tax (MVFT)

MVFT is a fixed tax, currently making up 49.5 cents of the per gallon price of gasoline, diesel, and other fuels. It is not based on the dollar amount of the fuel, but rather on the amount of fuel sold. Hence, there is no revenue benefit from higher gas prices.

MVFT is to be spent on salaries and wages, material, supplies, equipment, purchase or condemnation of right-of-way, engineering or any other proper highway or street purpose in connection with the construction, alteration, repair, improvement or maintenance of any city street or bridge or viaduct or underpassage along, upon or across such streets.

In addition, MVFT is a state shared revenue that is distributed to incorporated cities and towns based on population and other set allocation methods. Actual MVFT receipts for the past 10 years (2008-2017) are summarized in the following table.

HISTORICAL MOTOR VEHICLE FUEL TAX (2008-2017)
Dollars in Thousands

Year:	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017
Fuel Tax Revenue	\$ 509	\$ 493	\$ 492	\$ 472	\$ 467	\$ 470	\$ 469	\$ 492	\$ 507	\$ 513

Overall, the average annual growth in MVFT has been relatively flat over the last 10 years. When there is no increase in the fuel tax rate, Mercer Island’s fuel tax revenue tends to decline, as seen in 2008-2014.

The 2015 legislative session produced a transportation package adopted in ESSB 5987, resulting in an increase in the motor vehicle tax on August 1, 2015 from 37.5 cents to 44.5 cents per gallon, and a second increase to 49.4 cents per gallon on July 1, 2016.

The 2018-2024 MVFT forecast is summarized in the table below.

FORECASTED MOTOR VEHICLE FUEL TAX (2016-2022)
Dollars in Thousands

Year:	2018	2019	2020	2021	2022	2023	2024
Fuel Tax Revenue	\$ 500	\$ 488	\$ 476	\$ 464	\$ 452	\$ 441	\$ 430

The assumptions employed in the forecast are as follows:

- Per Municipal Research and Services Center (MRSC), fuel tax revenue statewide is expected to increase by 1.4% in 2018 and 0.9% in 2019.
- Mercer Island’s portion of the MVFT is expected to decline after 2017 due to annexations of unincorporated areas and to Mercer Island’s slower population growth rate relative to other cities.
- Based on recent trends for Mercer Island, fuel tax is forecast to decline 2.5% per year in 2018-2024.

Vehicle License Fees (Transportation Benefit District)

Vehicle license fees for the City’s Transportation Benefit District (TBD) were estimated at \$350,000 per year at the time the TBD was formed (October 2014), based on the 17,687 vehicles registered with the Department of Licensing (DOL) at the adopted fee of \$20 per vehicle, less the DOL’s 1% administrative fee. Actual receipts were \$371,689 (2016) and \$374,736 (2017). Vehicle license receipts are forecast at \$375,000 per year for 2018-2024.

The 2015 Legislature included within its large transportation funding bill, ESSB 5987, a number of changes to the laws governing transportation benefit districts (TBDs). One change allowed cities which share the same physical boundaries as the TBD to assume the TBD. The City Council approved the assumption of Mercer Island’s TBD in December 2015. In addition, the legislation allowed for an increase in the TBD fee up to \$40 without a public vote provided that the \$20 fee has been in place for 24 months. An additional increase up to \$50 without a public vote is also allowed provided that the \$40

fee has been in place for 24 months. However, any non-voted fee higher than \$40 is subject to potential referendum, as provided in RCW 36.73.065(6). Any license fees over these amounts, up to \$100, must be approved by a simple majority of voters.

Funds generated by the TBD are to be used for “transportation improvements”, which is defined as a project contained in the transportation plan of the state, a regional transportation planning organization, city, county, or eligible jurisdiction as identified in RCW 36.73.020(2). A project may include investment in new or existing highways of statewide significance, principal arterials of regional significance, high capacity transportation, public transportation, and other transportation projects and programs of regional or statewide significance including transportation demand management. Projects may also include the operation, preservation, and maintenance of these facilities or programs.

Transportation Impact Fees

The Council passed Ordinance 16C-01 on January 4, 2016 authorizing the collection of transportation impact fees starting in February 2016. Impact fees are charged on new development (ex: building a new single family home on an undeveloped lot). In the first calendar year (2016) transportation impact fees totaled \$50,466, collected from 17 single family developments. In 2017 (last year) \$237,384 was generated from transportation impact fees, including \$118,458 collected from 30 single family developments, and an additional \$118,926 collected from 2 commercial developments. Note that new development was exceptionally high in 2017.

Transportation impact fees are estimated at \$60,000 in 2018 (based on development of 15 single family homes). An inflation factor of 2% per year has been applied to years 2019-2024. It should be noted that impact fees must be spent on projects reasonably related to the impact caused by new development. Because this is still a new revenue source for the Street Fund, staff will continue to monitor this revenue source in 2018-2020 and make budget adjustments as deemed appropriate.

Transportation impact fees must be spent on transportation system **improvements**, and must be reserved until applied to a project for this purpose. Capital improvements include, but are not limited to transportation planning, land surveys, land acquisition, site improvements, necessary off-site improvements, construction, engineering, architectural, permitting, financing, and administrative expenses, and any other expenses which could be capitalized, and which are consistent with the City’s capital facilities element of its Comprehensive Plan or the City’s Six-Year Transportation Improvement Program.

City of Seattle

In April 2016, the City of Mercer Island entered into agreement with the City of Seattle to contribute up to half of the total cost of the Mercer Island Shuttle Service provided by King County Metro Transit. The City of Seattle pays \$40,000 annually to jointly fund the transit service with the City of Mercer Island.

Multimodal Transportation

The 2015 legislative session produced ESSB 5987, the transportation package, which provided this new revenue source for cities and counties in addition to the motor vehicle fuel tax revenues which is distributed to cities each month. The bill added Section 331, which provides for a direct distribution in the 2015–2017 state biennium of \$11,719,000. This direct distribution comes from two different sources:

- Motor Vehicle Fund in the amount of \$5,469,000.
- Multimodal Fund in the amount of \$6,250,000.

Like the MVFT, Multimodal Transportation funds are a state shared revenue. The distributions are to be shared equally between cities and counties. The city portion of the distribution is made on a per capita basis. In general, Mercer Island’s population grows at a slower rate than surrounding cities, so this revenue will decline slightly over time. Multimodal transportation funds totaled \$16,016 (2016) and \$24,875 (2017). The amount of the transfer increased for the State’s 2018 fiscal year (starting in June 2017) and then is expected to remain flat thereafter at approximately \$34,000 per year.

Grant Opportunities

Grants occasionally become available for street or PBF projects. Grant funding is made available with increasing restrictions and competition for grants. Nevertheless, City staff intend to pursue grant opportunities when they become available, and if successful, these would be reflected in future TIPs.

A history of grants received by the City since 2000 is presented in the following table. Note that the following 3 grants have been awarded, but the funds will not be received until the project construction is completed: (1) Transportation Improvement Board (TIB) grant for the ICW Pedestrian Crossing Signal at SE 32nd, (2) TIB - SE 40th Street Sidewalk Improvements, and (3) Port of Seattle - Wayfinding Signage Program Construction.

Year	Grant Agency / Project Description	Grant Revenue
2004	STP - ICW Street (SE 53rd Pl to SE 68th St)	\$ 217,300
2004	STP - ICW Sidewalk (SE 53rd Pl to SE 68th St)	75,000
2005	STP (U) - Streets (ICW - I-90 to SE 40th)	262,889
2008-09	TIB - SE 40th Corridor Impvts (ICW to 86th)	926,325
2009	WSDOT - Safe Routes to School (Lakeridge)	220,000
2012	TIB - ICW Ped Crossing Signals - SE 42nd / SE 47th	241,587
2017	Port of Seattle - Wayfinding Signage Program Design	23,480
2016	TIB - ICW Ped Crossing Signal - SE 32nd	312,000
2017	TIB - SE 40th Street Sidewalk Improvements	500,000
2017	Port of Seattle - Wayfinding Signage Program Construction	23,660
	TOTAL	\$ 2,802,241

Street Fund Expenditures – Project Cost Estimates and Construction Costs

High inflation in construction costs during 2006-2008 was driven by rising crude oil prices and cost of metals (copper, iron, steel). Increased worldwide construction activity and demand for construction materials contributed to this high inflation.

During 2009 through 2012 (the economic slowdown) and for the couple years following, the City continued to receive good bids on projects and has been able to complete projects for below or close to the originally forecast project cost. The economy has recovered, by many measures. The ENR (Engineering News Record) Construction Cost Index for Seattle reflected inflation of 7.31% (2013), 4.15% (2014), 1.68% (2015), 1.74% (2016), and 2.13% (2017) for all types of construction. The average inflation since 1990 is 3.0%. For comparison, the CPI-W (Seattle Area) for the last year (as of February 2018) was 3.5%. Higher inflation is forecast in future years. Staff looked at several reports of historical costs trends and forecasts for costs in the near future, and recommends a forecast of 4% per year (a little above the long term average of the Construction Cost Index for Seattle). For the proposed TIP,

street construction costs (based about 40% on the cost of hot mix asphalt) were inflated as shown in the table below, from 2017 costs.

Suggested inflation factors used for the proposed 2019-2024 TIP

Year	2018	2019	2020	2021	2022	2023	2024
Annual Inflation	4%	4%	4%	4%	4%	4%	4%
Inflation over 2017	0%	4.0%	9.2%	13.6%	18.1%	22.8%	27.7%

The forecasted construction costs of Residential Streets, Arterial Streets (Town Center Streets, Arterial Improvements and associated Pedestrian and Bicycle Facilities) are estimated by comparing costs of recently completed projects which are similar in scope and complexity to the proposed project. Construction costs are estimated in today’s dollars and then inflated to the year of anticipated construction.

Street Fund Balance

The Street Fund is forecast to start the planning period (2019) with a fund balance of \$3.24 million before reserves of \$576,663 (or \$2.71 million of available fund balance), and to end (2024) with a balance of \$1,732,248 before reserves of \$801,979 (or \$930,269 of available fund balance).

For working capital (cash flow) purposes, Council’s policy is that \$200,000 be retained in the Street Fund. Because revenue is received on a monthly basis and the majority of expenditures occur in the summer and fall months, holding a minimum balance of \$200,000 in the fund has allowed for the cash flow fluctuations within the year. In addition, the use of transportation impact fees are restricted to use for transportation system improvements, and must be reserved until applied to a project for this purpose. Finally, the City periodically collects payments from town center developers for roadway restoration (when the City has a planned project in the area the developer would otherwise be required to restore). These funds are reserved until the pavement restoration project is completed.

Submissions from 2019-2024 Public Comment Period

Submission No.	Category	Location	Comment/Suggestion
1	Pedestrian and Bicycle project	84th Ave SE btwn SE 34th Pl and SE 36th ST	Please add sidewalks on 84th Ave. SE from 39th Street to 28th Street. this is a busy road that will become even busier as the residential real estate development on 84th is completed, and in the meantime the extensive construction only adds to the safety risks. Numerous kids are picked up along this street by school buses, and there needs to be a safe place for them as well. Thank you!
2	Pedestrian and Bicycle project	84th Ave SE btwn SE 34th Pl and SE 36th ST	Please put a sidewalk on 84th Street between 39th and 29th Streets. There is much more foot traffic with the elementary school, Northwood and many more homes in the neighborhood. The ditch along 84th could be filled in and a rock pathway would be sufficient. Thank you.
3	Pedestrian and Bicycle project	84th Ave SE btwn SE 34th Pl and SE 36th ST	Please continue the sidewalks from the neighborhood just north of 40th and 85th Ave. SE (near Northwood Elementary School) all the way up 84th Ave. There are so many walkers and also school bus stops on 84th Ave. that it would make a huge difference to pedestrian safety (these are 8 yr. olds on up!). The current strip of gravel shoulder (a recent improvement) has proven to be minimally effective as an off-road path for pedestrians. People still walk in the middle of the road for their personal safety--not kidding. This is unworkable for our most vulnerable population. My High School son has already gotten hit by a car on 84th Ave. He was late to school or else he would have called the police, he said. Please extend sidewalks on 84th Ave. SE from 39th St. to 28th St.
4	Pedestrian and Bicycle project	84th Ave SE btwn SE 34th Pl and SE 36th ST	Install curb, gutter and sidewalk on the east side of 84th Ave SE. Sidewalk in this location will provide a missing link in the safe route to Northwood Elementary and eliminate the need to bus those students living to the north of SE 36th and south of upper Luther Burbank Park.

Submission No.	Category	Location	Comment/Suggestion
5	Pedestrian and Bicycle project	86th Ave SE & SE 39th	Location is: SE 39th Street where it meets 86th Ave SE. Kids walking to Northwood school going east on SE 39th Street-- as they reach the intersection at 86th Ave SE is where the problem. They have to risk their lives crossing to get to the sidewalk from 39th to 86th because of speeding cars cutting that corner to get over to 40th - so you are forced to walk on private lawns to avoid getting hit by cars. There needs to be a sidewalk on SE 39th as it meets 86th on the west side of the street so kids can stand on the sidewalk while they wait for cars to pass then cross the street. As it is now, they stand on the lawn or in the mud of someone's house while they wait for cars to cut that corner at high speeds. Cars really speed up on SE 39th to avoid going to the 40th St lights. We got the speed bumps put in but the cars fly over those speed bumps. There are close calls every day with hitting children unfortunately.
6	Residential Street	86th Ave SE & SE 39th, SE 37th & SE 36th Cross streets	Stop sign request: On my regular commute along the bike path on 86 ave SE. I navigate through the intersections of SE 37th st and SE 39th st. Neither street has stop signs. I am concerned that cars may not completely stop for traffic as they merge onto 86 ave SE.
7	Pedestrian and Bicycle project	Mercerwood Drive btwn 92nd Ave SE & 93rd Ave SE	Install curb, gutter and sidewalk on the south side of Mercerwood Drive. Sidewalk in this location will provide a missing link in the safe route to Northwood Elementary and eliminate the need to bus those students living in the neighborhood to the south of Mercerwood Drive
8	Pedestrian and Bicycle project	SE 24th and 72nd Ave SE crosswalk	Hello. The crosswalk across SE 24th St at 72nd Ave SE is heavily utilized by children and families going to and from Aubrey Davis Park, and SE 24th St is very heavily trafficked by cars. Unfortunately, the cars driving up and down the hill on SE 24th St are often unable to see the pedestrians. I, myself, have been almost hit by cars numerous times crossing at that crosswalk. It would be very helpful to increase the visibility of pedestrians there, potentially by either having a flashing light when pedestrians are crossing or at least flags that pedestrians could wave. Thank you for considering my comment.
9	Residential Street	SE 24th and 81st Ave SE	81st Ave SE between North Mercer Way and 24th Street, there was an accident the other day. The car coming from 24th Street cut the corner and hit the car waiting at the stop street. The thing is, there is no white painted line in the center of the roadway and as cars come from 24th Street, they are all going into the other lane. (I don't know if that makes sense what I am trying to say), but basically, the white center line needs painting at the very least. Thanks. And with regard to the bike pathway, it is dangerous. Someone has left 4 orange cones which if a cyclist hits the bottom part of the cone, they could go flying off. They were better off putting a bollard up with a reflector. Someone said they were going to turn it into a sidewalk, but does that mean cyclists are to stay on the sidewalk and not use the roadway?

Submission No.	Category	Location	Comment/Suggestion
10	Pedestrian and Bicycle project	SE 27th and 74th Ave SE curve	SE 27th and 74th Ave SE - Please add shoulder pad for pedestrians. It's very dangerous. Cars are always speeding around the blind corner.
11	Residential Street	SE 27th and 74th Ave SE curve	If you are familiar with the blind curve at the intersection of SE 27th and 74th Ave SE - would you consider a shoulder pad for pedestrians to use instead of walking on this dangerous section of the road? We have seen an increase in car traffic since the Hadley building and Mioposto opened. Thank you.
12	Pedestrian and Bicycle project	SE 27th and 74th Ave SE curve	There is a blind curve at the intersection of SE 27th and 74th Ave SE. with the opening of the new apartment building and restaurants, there is much more traffic. There are multiple trains off that road with many pedestrians. I request a shoulder pad for pedestrians to use instead of walking in the road as drivers cannot see when coming around the corner.
13	Pedestrian and Bicycle project	SE 27th and 74th Ave SE curve	SE 27th & 74th Ave SE - Add shoulder option for pedestrians going around the curve. Terribly blind spot for cars to see pedestrians, particularly children.
14	Pedestrian and Bicycle project	SE 27th and 74th Ave SE curve	We both walk and drive this street in both directions several times a month. It is a blind curve for drivers in both directions, and difficult for pedestrians to anticipate which side of the road the car coming over the hill will be on.
15	Residential Street	SE 27th and 74th Ave SE curve	SE 27th and 74th Ave SE We live directly above the intersection and are frequent users. This should not be a through street- its a terrible access to 24th street. If not controlled with better pedestrian access or speed bumps- people will get hurt. I request for a shoulder pad for pedestrians to use instead of walking on this dangerous section of the road. Lit crossing area outside of the starbucks. Despite that the drive through is in quite frankly the worst spot ever- please add a lit crossing area here. Stop light outside of Island park field. This needs a turn lane or stop light.
16	Pedestrian and Bicycle project	SE 27th and 74th Ave SE curve	Please add a pedestrian pad at the intersection of 74th SE and SE 27th. It's a dangerous blind corner and often has speeding car traffic. Thanks!
17	Pedestrian and Bicycle project	SE 27th and 74th Ave SE curve	Please make it safer for pedestrians and traffic on the curve in front of the Hadley apartments onto SE 27th. My car was hit and damaged by someone pulling out onto SE27th from a parking space. Last week a car quickly sped in front of me as my blinker was on and "gunned it" into the Hadley parking garage. Many people do not look for traffic as they cross the street in this area and other people cross the street not using the crosswalk.

Submission No.	Category	Location	Comment/Suggestion
18	Pedestrian and Bicycle project	SE 27th and 74th Ave SE curve	I would like some type of walking path for pedestrians on the curve at 27th and 74th. There will be construction of a new house on 27th and this will bring a lot more traffic to that street. It is very dangerous for pedestrians especially at the curve.
19	Other Transportation project		<p>Please revise the Transportation Improvement Program (TIP) subheadings to replace the "Other" category with something like "Pedestrian and Transit Improvements." In addition, please revise "Pedestrian and Bicycle Improvements" to "Bicycle Improvements." Generally, bicycles and pedestrians are a dangerous combination in the same spaces. However, all transit riders are pedestrians. Improving safety and access for people walking also improves walking to transit stops. Also, I believe that putting a transit related heading in the TIP would encourage city transportation planners to think about facilitating transit riders in addition to thinking about street pavements and the movement of vehicles. The Island does not have enough parking spaces for commuters or mid-day transit riders. Capital improvements supporting transit include:</p> <ul style="list-style-type: none"> - safe pedestrian ways to bus stops, and to park and ride (P&R) lots - safe street crossings to and from bus stops and P&R's - bus shelters (in addition to benches) - concrete pads at bus stops - additional commuter parking, including spaces remote from the light rail station <p>P&R spaces are a valuable transportation resource. Available parking spaces encourage ride sharing to places not efficiently served by transit. In addition to work-related ride sharing, P&R spaces support off-island recreational activities (hiking, concerts, sports games, etc.). The ski bus for a MI Park and Recreation program picks up passengers at the MIPC P&R, which also reduces parking demand at the MI Community and Event Center. (However, the parking demand exceeds the spaces leased by Metro, probably shifting parking-related liability costs to the church.) Bus shelters make riding the bus to work, downtown, or high school more comfortable. Shelters help ride-sharing, and a visible reminder that transit is available (and comfortable), a place for art in the community, and a reminder that big government cares about individual people. Transit ridership and ride-share programs are not 100% the responsibility of Metro. Local governments also share the responsibilities for public transportation. Are community P&R lots in the right places and the right sizes?</p>

Submission No.	Category	Location	Comment/Suggestion
20	Other Transportation project		<p>I am a Mercer Island resident and since July of 2017 I have adopted using an electric assisted bicycle for my daily commute from MI to Seattle. I would like to see the Transportation Improvement Plan and the Pedestrian and Bicycle Facilities Plan (last updated in 2010) recognize and incorporate electric assisted bicycles into future planning documents. As an example, In the Pedestrian and Bicycle Facilities Plan there are numerous references to non-motorized systems and investments that also reference bike lanes and bicycle paths. This may create confusion given electric assisted bicycles are allowed in bicycle lanes but also incorporate a motor to assist the non motorized (?pedaling?) portion of propulsion. I would further advocate that our city?s plan support the users of electric assisted bicycles and incorporate them within the community infrastructure. Since the last update to the Pedestrian and Bicycle Facilities Plan in 2010, there has been an increase of interest in electric assisted bicycles adding to the users of non-polluting and active transportation in the region. In addition, having the additional assistance allows bicyclists to navigate Mercer Island?s significant hills reducing a barrier to bicycle use in our community. Specifically I would like to advocate use of electric assisted bicycles on all MI bike paths and lanes as well as multi-use trails that already include bicycles on Mercer Island. It would be reasonable to define and limit electric assisted bicycles along the Class III guidelines that California has adopted in their vehicle code?. ?speed pedal-assisted electric bicycle,? is a bicycle equipped with a motor that provides assistance only when the rider is pedaling, (no throttle) and that ceases to provide assistance when the bicycle reaches the speed of 28 miles per hour and equipped with a speedometer. ? I am a huge fan of my electric assisted bicycle, it has significantly reduced my car trips (over 1700 bicycle only miles since July 2017) and carbon footprint. I believe we will see an increased adoption of electric assisted bicycles within our community and we should plan ahead and update our policies to promote safe and reasonable usage as we share the community resources for effective transportation. Thank you for your consideration.</p>

Submission No.	Category	Location	Comment/Suggestion
21	East Link Mitigation project		<p>When it comes to the light rail stations, this is what I have been told by Zack Ambrose of Sound Transit: "Our landscape architects have worked with WSDOT landscape architects to ensure the new plantings are high quality and fit with the existing planting guidelines. We have met all landscape requirements along the corridor. Ivy will be planted along the sound walls at the platform level and has been planted and numerous station locations in Seattle's Rainier Valley. The plantings along the station platform will be maintained by Sound Transit while the plantings along 77th and 80th will be maintained by the City of Mercer Island and WSDOT as they are today." Sound Transit's landscape architects have met with WSDOT's landscape architects, but they have not met with Mercer Islanders, nor have they met with Mercer Island's landscape architects, and I am sorry, what they have planned for us is that they want to use the cheapest plants (ivy) on us and this is unacceptable. This area is the gateway to Mercer Island and should be reflective of our island and look aesthetically beautiful, and all those utility boxes, those need to go. I was also told that they want to do the same as what we have now which I am sorry, it looks like one great ugly mess. And as for the maintaining along 77th Ave SE and 80th Ave SE, is that true that MI maintains those streets? And if the City of MI is to maintain those two streets, you want to have it that the City have say as to what is being planted. And why can't you make it that ST are not allowed to use toxic chemicals which is what they have been doing? I don't know if anyone has gone to Factoria mall lately, but they have really spruced the whole area up. So, try and get money from Sound Transit as mitigation or something, and make it that they don't implement anything until Mercer Islanders have had some input. Can't you get it that you get money from them and have Mercer Islanders do the landscaping? It can't be worse than what they have planted. I can't bear to look at any more ugly groundcover, ivy, dead trees, ugly utility boxes, etc. You need to have a meeting with Sound Transit, the city council, and the community on this. If you don't say anything, Sound Transit will just take it th at you like what they have planned and are in accordance. You are not. They don't have our best interests at heart. Thank you.</p>
22	East Link Mitigation project		<p>I don't know what this comes under, but Sound Transit have to get rid of all those ugly utility boxes we have to look at by the Park and Ride and along North Mercer Way. The light rail stations and the vicinity are the gateway to Mercer Island, and they should not be greeted by ugly utility boxes. All that infrastructure should be built underground like what is done elsewhere. Plus the freeway noise is unbearable for where we live in the 2500 81st Ave SE condos. If you stand at the south end of the 300 building which borders North Mercer Way, you have to shout, and where I live facing the Park and Ride, the freeway noise wakes people up. Who is responsible for that and what mitigation can Sound Transit offer? Thanks.</p>

Submission No.	Category	Location	Comment/Suggestion
23	East Link Mitigation project		<p>According to Ms. Underwood’s summary of the Sound Transit Agreement contained in her memo to the Council, AB 5370 (December 5, 2017), the funds are divided into the following categories and amounts which we have identified by the abbreviation <i>ST #</i> :</p> <p><i>ST 1</i> First-Last Mile Solutions \$ 226,900 see note below <i>ST 2</i> Traffic & Safety Enhancements \$ 5,100,000 see note below <i>ST 3</i> Short-Term Parking \$ 240,000 <i>ST 4</i> Permanent Parking \$ 4,410,000 <i>ST 5</i> Aubrey Davis Park \$ 50,000</p> <p>The amount of funds for <i>ST 1</i> could be increased if it is determined that the amount needed for <i>ST 2</i> is less than \$ 5.1M. Where funds have been provided from other sources, we have noted that as well.</p>
24	East Link Mitigation project		<p>1. Enhance and improve access to the future Light Rail Station and current North end Park and Ride lot by means other than Single Occupancy Vehicles. <i>ST 1</i> can provide the funds for any of the following projects.</p> <p>1.1 By Bus</p> <p>1.1.1 Continue the Metro 630 shuttle bus. 1.1.2 Initiate a van/bus line running between the South and North ends of the Island with limited stops at high density areas. 1.1.3 Insure that all buses have bike racks. 1.1.4 Schedule buses and vans to run most frequently during am and pm rush hours.</p> <p>1.2 By Bike</p> <p>1.2.1 Construct more bike parking/storage spaces in or near the current Park and Ride lot and maximize bike parking/storage spaces in the new Light Rail Station, current Park and Ride lot and any new Park and Ride lot. Lack of bike storage suppresses commuting by bicycle and transit. Each bike used to reach the East Link train is one less car that has to be accommodated in a parking garage. <i>ST 2</i> , <i>ST 3</i> and <i>ST 4</i> funds can be used for this purpose. 1.2.2 Consider a dock-less Bike Share program like the one now in use in Seattle and the pilot project to be started in Bellevue in May, 2018. 1.2.3 Investigate an e-Bike Share program. 1.2.4 Develop incentive programs that encourage residents to use transportation options, like bikes, other than single occupancy vehicles to reach the East Link station.</p>

Submission No.	Category	Location	Comment/Suggestion
25	Pedestrian and Bicycle project		<p>2. Continue and finish improvements to the proposed Island North/South Bike Route. The City has identified and is in the process of finishing the signing and marking of parts of a North/South bike route that extends from Lakeridge Elementary School to the Central Business District (CBD). Two major sections need to be addressed and funded: SE 40th Street and the “missing link” described below. We urge the City to continue with the improvements and finish the project by taking the following steps. <i>Additional funds from ST 1 and ST 2 can be used for this purpose.</i></p> <p>2.1 Complete the signage and street markings currently under way that are part of this year’s 6-year plan.</p> <p>2.2 Undertake, fully fund and complete the SE 40th Street Project as now funded by the Transportation Improvement Board in its \$500,000 grant to the City.</p> <p>2.3 Pave the gravel trail running east/west along the southern border of the new Funny Farm horse facility.</p> <p>2.4 Maintain and enhance the signage of bike lanes on 77th Ave. SE in the CBD.</p> <p>2.5 Complete the “missing link” on Island Crest Way between SE 62nd Street (just south of the Funny Farm horse facility) and 90th Avenue SE (by the mailbox). City Engineering has indicated it intends to apply for TIB funding. The City should commit to fund any balance.</p> <p>Completion of this link would provide a seamless safe route along the middle of the Island all the way from the South to the North that could be used for both recreation and reaching the East Link light rail station.</p> <p>2.6 Promote and publicize the route by, for example, preparing a map that shows the route and sponsoring an “all Island” walk and bike day similar to a Volksmarch.</p> <p>2.7 Consider a public/City Council bike ride on the new route, perhaps in conjunction with the Leap for Green event this year (April 14, 2018).</p>
26	Pedestrian and Bicycle project		<p>3. Finish paving shoulders on East and West Mercer Ways. This project has been underway for years as part of the Transportation Improvement Plan passed each year by the Council and is close to being finished. The City should aggressively allocate funding so that the project can be finished as soon as possible. Since the Mercers are used by many bicyclists for commuting to both Seattle and Bellevue, <i>additional funds to complete this work can be found in ST 1 and ST 2.</i></p>

Submission No.	Category	Location	Comment/Suggestion
27	Pedestrian and Bicycle project		<p>4. Improve the bike and pedestrian route/trail in Aubrey Davis Park. The City has committed to funding a Master Plan study to determine the legal relationships that govern this important connection between Seattle and the Eastside. ST 5 provides some of the funds for this purpose. <i>Additional funds can be found in ST 1 and ST 2</i> since the bike and pedestrian path that goes through the Park (the I-90 Trail) is an integral part of this connection and is used by bicyclists for commuting to and from work.</p> <p>The City should improve the I-90 Trail by taking the following actions:</p> <p>4.1 Finish the Master Plan to enhance standards and to ensure state and King County construction projects meet those higher standards.</p> <p>4.2 Coordinate with King County regarding the installation of a new sewer line that will parallel and in some areas go beneath the I-90 Trail. The City should insure that the re-constructed path is improved by making it wider (possibly with separate lanes for pedestrians and bikes), with lighting, signs, and directions thus making it safer and more usable by more pedestrians and bicyclists.</p> <p>4.3 Reconfigure the intersection of SE 26th Street and Island Crest Way and the area in front of the North End Park and Ride lot to separate pedestrians waiting for buses from bicyclists using the I-90 Trail that currently goes through this area. Plans are already available for such separation.</p> <p>4.4 Include consideration of e-bikes in infrastructure planning and regulation. E-bikes are the fastest growing segment in bicycling, and this year state law will likely be revised to conform with standards adopted by other states.</p>
28	Other Transportation project		<p>5. Investigate the process to become recognized as a Bike Friendly Community by the League of American Cyclists. The state of Washington was recently recognized as the Number 1 Bike Friendly State in the nation by the League of American Cyclists. The League also recognizes cities and communities with the same designation. Mercer Island should strive to be so recognized.</p> <p>6. Adopt a Complete Streets Policy and Ordinance. The state of Washington, Pierce County and 15 cities in Washington (including Seattle, Renton, Redmond, Kirkland and Issaquah) have adopted (as of 2012) the Complete Streets Program which assures that any improvements to streets will consider ALL modes of transportation. Mercer Island should not be the outlier but should join the ranks of these progressive communities by adopting this worthwhile program. As a guide, see the award-winning policy recently adopted by the City of Wenatchee.</p>

Submission No.	Category	Location	Comment/Suggestion
29	Pedestrian and Bicycle project		<p>North South Route.</p> <ul style="list-style-type: none"> • Signage for the routes are funded out of 2017 and only await implementation? • 40th Street and the ICW and 86th Ave. City has received a \$500K grant (Congratulations!), but how much additional funding is required from the city and does the city have it? Like you, we see this as a high priority. • 62nd Street West of ICW – (D1) PBF Plan implementation? • ICW between 52nd Street and 62nd Street. Is this a TIP or ST Last Mile project? If it is a TIP project, this deserves a very high priority. Requires an engineering review and design as well as implementation. • Aubrey Davis Park Master Plan (D3). We fully support this effort which we understand will set new restoration standards to improve opportunities for grant requests and to be followed by King County Sewer and others doing construction in the Park.
30	Pedestrian and Bicycle project		<ul style="list-style-type: none"> • East Mercer Way Shoulders (D5). We support D5 and moving to an earlier year but would give a higher priority to the section between Avalon Drive and the shoulders West of Fleury Trail (Phase 3 in 2024?). The sight lines on EMW south from Clark Beach are long and straight. The corner south of Avalon Drive is sharp and lacks shoulders, so pedestrians, dog walkers and bikes are squeezed into a narrow area with a limited sight line. Mercer Island Beach Club attracts a lot of cars from outside the immediate area and that section of EMW is a popular pedestrian/dog walking area in the mornings. • West Mercer Way Shoulders (D6). Fully support but would encourage moving to an earlier year. • Gallagher Hill Sidewalk Improvement (D8). We do not have enough information to understand its impact.

SIX-YEAR TRANSPORTATION PROGRAM

Detail of Expenditures for 2019-2024

	PROJECTS	STATUS	COMMENTS	2019	2020	2021	2022	2023	2024
A.	Residential Streets Preservation Program								
	1 Residential Street Resurfacing		Project includes HMA overlays and seal coats	880,593	563,579	952,449	609,568	1,030,169	659,308
B.	Sub-social Residential Street Preservation Program			\$880,593	\$563,579	\$952,449	\$609,568	\$1,030,169	\$659,308
	Town Center Street Improvements								
	1 78th Avenue Sidewalk (SE 32nd - SE 34th)	New	Pilot program - develop new standard for Town Center sidewalk replacements	100,000	400,000				
	2 80th Avenue Sidewalk (SE 28th - SE 32nd)	New			100,000		400,000		
	3 Town Center Streets - North	Modified	Grind and HMA overlay of SE 27th (76th Ave to 80th Ave)				300,000		
C.	Sub-social Town Center Street Reconstruction			\$100,000	\$400,000	\$100,000	\$700,000	\$0	\$0
	Arterial Streets Improvements								
	1 Arterial Preservation Program								
	2 East Mercer Way (SE 44th St - SE 70th Pl)			70,000	70,000	70,000	70,000	70,000	70,000
	3 SE 40th St (76th Ave SE - 78th Ave SE)			677,400		854,900			
	4 North Mercer Way (7450 - 76th Ave SE)			327,928					
	5 SE 68th St and SE 70th Pl (ICW - EMV)			155,000					
	6 North Mercer Way (7450 - Roanoke)				525,000				
	7 West Mercer Way (SE 56th St - EMV)	Modified	Chip seal			133,000			
	8 Gallagher Hill Road (SE 36th St - SE 40th St)	Modified	Chip seal limit extended north to SE 56th			482,000			
D.	Sub-social Arterial Street Improvements			\$1,230,328	\$595,000	\$1,539,900	\$70,000	\$900,700	\$947,000
	Pedestrian and Bicycle Facilities (PBF) - New Facilities								
	1 PBF Plan Implementation			45,000	45,000	45,000	45,000	45,000	45,000
	2 ADA Compliance Plan Implementation			75,000		75,000	483,000		
	3 East Mercer Way Roadside Shoulders - Phase 1								
	4 West Mercer Way Roadside Shoulders - Phase 2 and 3	Modified	Ph 2: 7400 block to SE 70th St. / Ph 3: SE 70th to SE 65th						
	5 Crosswalk Improvement (SE 36th St and NMW)		RRFB, Refuge Island and Rechannelization	100,000					
	6 Gallagher Hill Sidewalk Improvement (SE 36th St - SE 40th St)		Sidewalk Improvements. Will be done in conjunction with overlay project C8					540,000	
	7 Mercerwood Drive (92nd to 93rd Ave SE)	New	Pedestrian facility south side of road; supports SRTS						200,000
	8 ICW (90th Ave SE - SE 63rd)	New	Prelim Design (Construction unfunded) Complete gap in N+S Bike route						75,000
E.	Sub-social Pedestrian & Bicycle (PBF) - New Facilities			150,000	150,000				
	East Link Traffic/Safety Mitigation Projects			\$370,000	\$560,000	\$120,000	\$528,000	\$660,000	\$826,000
	1a Signal Interconnect Coordination - SE 27th St Corridor	New	Up to \$5.1M. Projects must be complete & submitted for reimbursement by 12/31/25						
	1b Signal Interconnect Coordination - ICW to NMW (Big Left)	New						500,000	
	2a PBF - I-90 Trail Crossing at West Mercer Way	New		100,000	200,000				
	2b PBF - I-90 Trail Crossing at Sunset Highway / 77th Ave SE	New					200,000		
	2c PBF - I-90 Trail Crossing at 76th Ave SE / SE 24th Street	New						100,000	200,000
	2d PBF - Mid-block TC crossings (along 76th Ave SE & SE 27th)	New	Locations to be determined; walkable Town Center						200,000
	3 Emergency Signal (ICW and SE 30th Street)	New	Design 2023; construction 2024; Required coordination with WSDOT						200,000
	4 Speed Feedback Signage (SE 40th & WPMV)	New	Vicinity of W Mercer Elementary. Identified by Police immediate need	75,000					
F.	Sub-social East Link Traffic/Safety Mitigation Projects			\$175,000	\$200,000	\$300,000	\$200,000	\$1,400,000	\$750,000
	Transportation Operations, Maintenance, & Capital Mgmt								
	1 Street Maintenance and Operations			481,686	391,026	400,692	410,696	421,051	431,770
	2 Capital Project Management, Engineering, and OH			486,458	422,581	443,710	549,895	489,190	513,649
	Sub-social Other Transportation O&M, Capital Mgmt			\$968,144	\$813,607	\$844,402	\$960,591	\$910,241	\$945,419
	TOTAL PROJECT COSTS			\$3,724,064	\$3,132,186	\$3,856,751	\$3,068,159	\$4,901,110	\$4,127,727

SIX-YEAR TRANSPORTATION PROGRAM

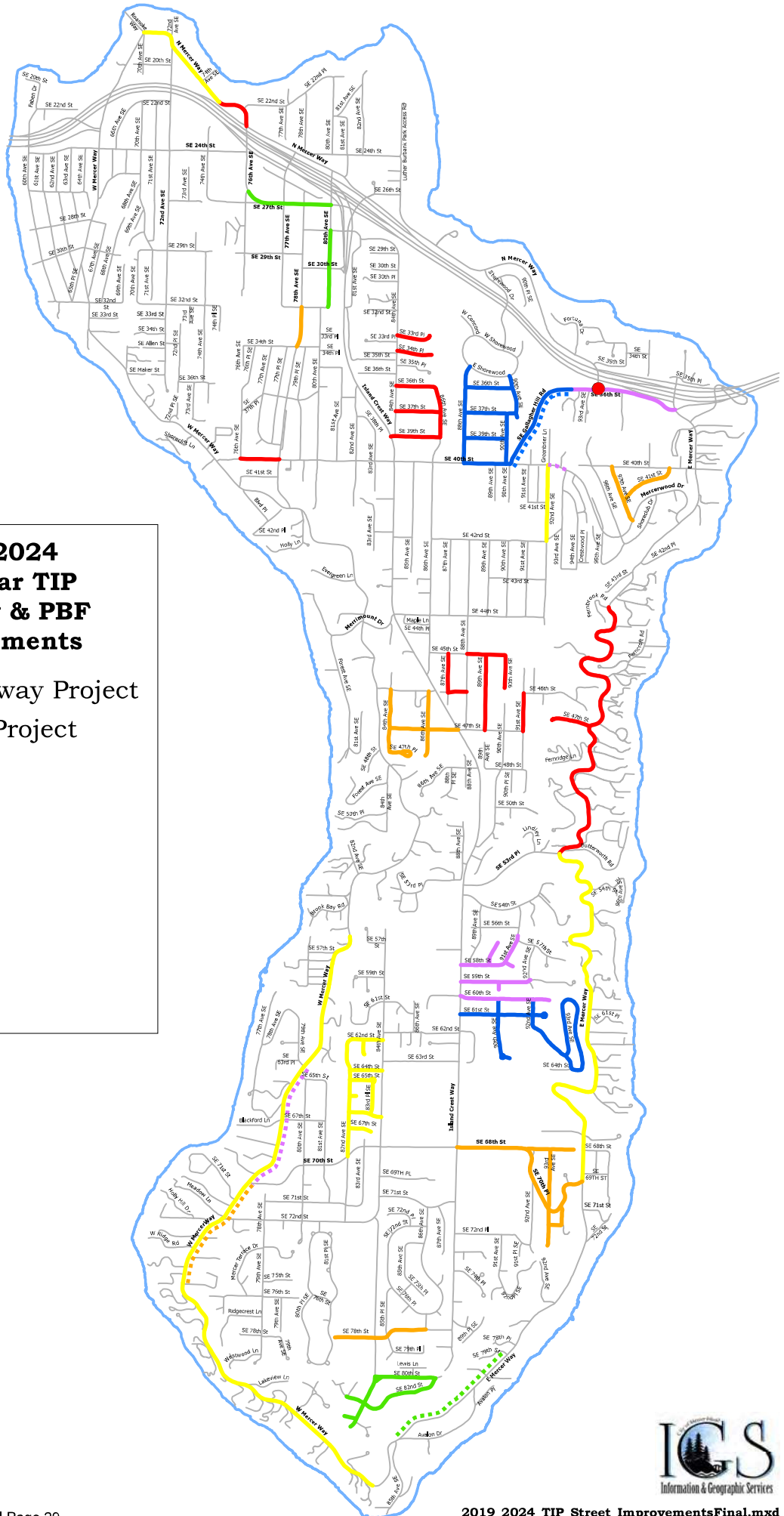
Street Fund Balance

2019 - 2024

RESOURCES	COMMENTS	2019	2020	2021	2022	2023	2024
Beginning Fund Balance		\$ 3,284,246	\$ 2,686,181	\$ 2,766,995	\$ 2,179,244	\$ 2,343,085	\$ 1,940,975
Revenues							
Real Estate Excise Tax		1,953,000	2,026,000	1,992,000	2,066,000	2,143,000	2,222,000
Fuel Tax		488,000	476,000	464,000	452,000	441,000	430,000
M/I Transportation Benefit District	Ordinance 14C-11 (Oct 2014)	375,000	375,000	375,000	375,000	375,000	375,000
Transportation Impact Fees	Ordinance 16C-01 (Jan 2016)	61,000	62,000	64,000	65,000	66,000	68,000
City of Seattle	Metro Transit Shuttle Service	40,000	40,000	40,000	40,000	40,000	40,000
State Shared - Multimodal Transportation	ESSB 5987 (July 2015)	34,000	34,000	34,000	34,000	34,000	34,000
Mitigation - Sound Transit	Up to \$.1/M. Complete by 12/31/25	175,000	200,000	300,000	200,000	1,400,000	750,000
Total Revenues		\$ 3,126,000	\$ 3,213,000	\$ 3,269,000	\$ 3,232,000	\$ 4,499,000	\$ 3,919,000
EXPENDITURES	COMMENTS	2019	2020	2021	2022	2023	2024
A. Residential Streets Preservation Program		880,593	563,579	952,449	609,568	1,030,169	659,308
B. Town Center Street Reconstruction		100,000	400,000	100,000	700,000	-	-
C. Arterial Street Improvements		1,230,328	595,000	1,539,900	70,000	900,700	947,000
D. Pedestrian & Bicycle Facilities - New Facilities		370,000	560,000	120,000	528,000	660,000	826,000
E. East Link Traffic Safety Mitigation Projects		175,000	200,000	300,000	200,000	1,400,000	750,000
F. Transportation Operations, Maintenance, & Capital Mgmt		968,144	813,607	844,402	960,591	910,241	945,419
Total Expenditures		\$ 3,724,064	\$ 3,132,186	\$ 3,856,751	\$ 3,068,159	\$ 4,901,110	\$ 4,127,727
Ending Fund Balance (including reserves)		\$ 2,686,181	\$ 2,766,995	\$ 2,179,244	\$ 2,343,085	\$ 1,940,975	\$ 1,732,248
FUND RESERVES AND DESIGNATIONS	COMMENTS	2019	2020	2021	2022	2023	2024
Working Capital Reserve		200,000	200,000	200,000	200,000	200,000	200,000
Impact Fees Collected	Will be applied to eligible projects	276,979	338,979	402,979	467,979	533,979	601,979
Designated - TC Streets North (Project B3 in 2022)		99,684	99,684	99,684	-	-	-
Ending Fund Balance (available)(after reserves)		\$ 2,109,518	\$ 2,128,332	\$ 1,476,581	\$ 1,675,106	\$ 1,206,996	\$ 930,269

2019-2024 Six - Year TIP Roadway & PBF Improvements

- Roadway Project
- PBF Project
- 2019
- 2020
- 2021
- 2022
- 2023
- 2024



SIX-YEAR TRANSPORTATION PROGRAM

Project Descriptions

(2019-2024)

A. Residential Street Preservation Program

Historically, this program has consisted of hot mix asphalt (HMA) overlays on an average of 1.5 miles of residential streets annually. Several years ago, the City added chip sealing as another tool for street pavement preservation. To date, chip seal projects have been performed in 2011 and 2013, and another one is occurring in 2018. The Residential Street Preservation Program also improves about one substandard street per biennium, as the need arises.

The City's pavement condition data is an integral part of determining the locations and schedule of future residential street asphalt overlays and chip seal work. Pavement Condition Index (PCI) data was collected in 2013 and 2016. When PCI falls below a score of 70, staff considers a roadway for some form of resurfacing. For roadways with resurfacing needs that also have pending utility work (storm drainage, new water main, etc.), these roadways are typically scheduled for paving one to two years after that major utility work. The timing and limits of residential street resurfacing work in future TIP's may change, as determined by updated pavement condition information.

Some of the residential roadways planned for future repaving are listed below. Other roadways may be added or the timing of these streets below may change based on when and where water main construction, storm drainage construction, franchise utility work, and major housing projects occur.

- In 2019, the Madrona Crest West neighborhood (SE 36th, SE 37th, and SE 39th Streets, 86th Avenue) and nearby SE 33rd Place and SE 34th Place are scheduled for repaving. These roadways have PCI ratings of Fair, Poor, and Very Poor. In addition, portions of 87th, 89th, 90th, and 91st Avenues lying between Island Crest Way and Ellis Pond are planned for repaving, as is SE 47th Street off East Mercer Way. PCI's on these roadways range from Fair all the way down to Failed.
- For 2020, SE 41st Street and 97th Avenue in Mercerwood are planned for repaving, along with portions of SE 47th Street, 84th Avenue, and 86th Avenue, lying west of Island Crest Way. These roads have PCI's of Fair, Poor, and Very Poor. Further south, SE 78th Street near Lakeridge Elementary will be repaved along with SE 68th Street and 93rd Avenue east of Island Crest Way.
- In 2021, the neighborhood plat of Parkwest bounded by 82nd Avenue, 83rd Place, SE 62nd Street and SE 70th Street is planned for repaving. These roadways have PCI's in the Fair, Poor, and Very Poor ranges. 92nd Avenue near the High School is also planned for resurfacing.
- For 2022, roadways in the Island Point neighborhood (84th Avenue, SE 80th and SE 82nd Streets), south of Lakeridge Elementary, will be resurfaced. These streets have current PCI's in the Fair, Poor, and Very Poor ranges.

- In 2023, the Madrona Crest East neighborhood, bounded by 88th and 90th Avenues, and SE 36th and SE 40th Streets will be repaved following a large water main replacement project scheduled for construction in 2022. Additionally, the neighborhood streets comprised of SE 61st Street and 90th, 92nd, 93rd, and 94th Avenues (east of Island Crest Way) are planned for repaving. Current PCI's of these roads range from Fair to Poor. This work may be a combination of HMA overlays and chip seals.
- Potential roadways to resurface in 2024 include SE 58th, SE 59th, and SE 60th Streets, all lying east of Island Crest Way. However, timing of these may change based upon future PCI ratings.

B. Town Center Street Improvements

- **78th Avenue Sidewalk (SE 32nd Street to SE 34th Street) [B1] and 80th Avenue Sidewalk (SE 27th Street to SE 32nd Street) [B2]** are two newly proposed projects to replace curbs, sidewalks, and street trees with a new design that will allow more space for new street trees to mature without sidewalk damage. In addition, ADA accessibility would be improved on these roadways. These sections of 78th and 80th Avenue were not rebuilt during the 1994/1996 Town Center Streets reconstruction effort. The pilot project of 78th Avenue would be designed in 2019 and constructed in 2020. The 80th Avenue work would follow in similar fashion in 2021 and 2022. At this early stage of project scope, design has been estimated at \$100,000 and construction at \$400,000 for each project.
- **Town Center Streets – North [B3]** will resurface SE 27th Street from 76th Avenue to 80th Avenue with a grind and overlay of the existing roadway in 2022, at an estimated cost of \$300,000. This roadway was last resurfaced in 1994.

C. Arterial Street Improvements

- **Arterial Preservation Program [C1]** work continues annually. The purpose of this program is to extend the life of arterial streets proactively, through the repair and patching of isolated pavement failure areas and crack sealing. Crack sealing extends the life of existing pavements by sealing out water intrusion.
- **East Mercer Way Resurfacing (4400 block to SE 70th Place) [C2]** is proposed as two projects, in 2019 and 2021. Last repaved in 1992, East Mercer Way is showing pavement fatigue and advanced wear. Patching and crack sealing has been done in recent years. Pavement segments within these limits range from Satisfactory to Fair. The scope of this project includes a HMA overlay from the 4400 block to SE 53rd Place in 2019 at a cost of \$677,400, and a HMA overlay from SE 53rd Place to SE 70th Place in 2021 at a cost of \$854,900. These projects will also resurface the adjacent paved shoulder areas.
- **SE 40th Street (76th Avenue to 78th Avenue) [C3].** This portion of SE 40th Street was originally planned for reconstruction in 2015; however, staff learned of several new home projects set for construction in 2015 and 2016, so work on this section of SE 40th Street was postponed. This project will rebuild the failing asphalt pavement structure (PCI rating of Poor) as well as replace concrete curbs on one side. The work is rescheduled for 2019 at a budget of \$327,928.
- **North Mercer Way (7450 to 76th Avenue) [C4].** This project was added to the TIP in 2017 as a “grind and overlay” to restore aging asphalt pavement. This roadway was last paved in 1994 with an overlay by WSDOT. Its PCI rating has dropped between 2013 and 2016, and is

currently rated as Fair. This project will also repair existing sidewalks and is planned for 2019 at a cost of \$155,000.

- **SE 68th Street and SE 70th Place (Island Crest Way to East Mercer Way) [C5]** was added to the TIP in 2013 as a HMA resurfacing project. The pavement on SE 68th Street is older than 1985 and SE 70th Place was last resurfaced in 2001. Pavement cracking on SE 70th Place was crack sealed in 2011 and again in 2016. This project has been scheduled for 2020 at a cost of \$525,000. Current PCI's are at the bottom of the Satisfactory range. New PCI data (to be collected in 2019) may change the scope or timing of this project.
- **North Mercer Way (7450 to Roanoke Way) [C6]**. This project was added to the TIP in 2017 and proposes to restore the aging pavement on this portion of North Mercer Way with a chip seal in 2021. The roadway was last repaved in 1994 and although its current PCI rating is Satisfactory, Staff predicts that it will be in Fair condition by 2021. This project's estimated cost is \$133,000.
- **West Mercer Way (SE 56th Street to East Mercer Way) [C7]**. This roadway was last repaved in 1995 with a HMA overlay. Its current PCI's are in the low Satisfactory range and Staff believes its condition will degrade to Fair in a few more years. A chip seal resurfacing is proposed for 2021. At that time, the current pavement will be 26 years old. This year, Staff has proposed extending this project's north limit up to SE 56th Street (the previous limit was SE 72nd Street). The total estimated cost of this longer project is \$482,000.
- **Gallagher Hill Road (SE 36th Street to SE 40th Street) [C8]** is proposed for resurfacing with a HMA overlay in 2023. Last repaved in 1988, Gallagher Hill Road's current PCI rating is at the bottom of Satisfactory, and staff believes that by 2023, its rating could fall to Poor. The timing of this project has been changed from 2022 and its estimated cost has been increased to \$610,700.
- **SE 40th Street (88th Avenue to Gallagher Hill Road) [C9]**. This is a new project that will resurface this short portion of SE 40th Street with a grind and overlay process. It is planned to follow a large water main construction project in the Madrona Crest East neighborhood (to the north) scheduled for 2022. This overlay will be coupled with the Gallagher Hill Road repaving planned for 2023.
- **SE 36th Street (Gallagher Hill Road to East Mercer Way) [C10]**. This project will resurface SE 36th Street with a HMA overlay in 2024. This roadway was rebuilt in the late 1980's by WSDOT as part of the I-90 freeway improvements. Its current PCI rating is Fair, but is expected to drop in the coming years. This pavement has performed well, but will be 38 years old in 2024, and will be in need of resurfacing. Project elements may also include sidewalk repairs. This project's estimated cost is \$877,000.

D. Pedestrian and Bicycle Facilities – New Facilities

- **PBF Plan Implementation [D1]** is recommended to continue to be funded at \$45,000 per year. Specific projects for this program have not yet been identified or prioritized for construction in 2019-2024. Focus on implementation of signage and pavement markings to support sharing of the road by all users and completion of missing links in sidewalk or trails to fill gaps in the PBF system is proposed.

- **ADA Compliance Plan Implementation [D2]** allocates funding to identify, inventory, prioritize, design, and construct spot improvements to pedestrian facilities citywide to meet compliance standards established by the Americans with Disabilities Act (ADA). Staff recommend funding of \$75,000 per biennium starting in 2019.
- **East Mercer Way Roadside Shoulders [D3]** have been under construction in phases since 2004. A Roadside Shoulder Development Program was established in 2002 to construct new paved shoulders along the Mercer Ways for pedestrian and bicycle use (constructed independently from roadway improvement projects). Council has continued to approve and fund additional shoulder projects along East Mercer Way, which to date cover 80% of its 4.8 mile length. The East Mercer Way Roadside Shoulders Phase 11 project will construct new paved shoulders from Clarke Beach to Avalon Drive in 2022 at a budget of \$483,000.
- **West Mercer Way Roadside Shoulders - Phases 2 and 3 [D4].** These proposed projects will continue investment in new shoulders along West Mercer Way, north of the “Phase 1” project constructed in 2017. Phase 2 (proposed during the 2017 TIP) will build shoulder from the 7400 Block to SE 70th Street in 2020 at a budget of \$365,000. Phase 3 (newly proposed in this year’s TIP) will build shoulder from SE 70th Street to SE 65th Street in 2024 at a budget of \$431,000. Currently, paved shoulders exist along 72% of West Mercer Way’s 6.0 mile length.
- **Crosswalk Improvement (SE 36th Street and North Mercer Way) [D5]** is proposed for 2019 to construct a pedestrian crossing including a refuge island, channelization, ADA improvements and an RRFB at the intersection to establish a crossing between the residential and commercial on the south side of SE 36th Street and the I-90 trail system on the north side. The estimated cost of this project is \$100,000.
- **Gallagher Hill Road Sidewalk Improvement (SE 36th Street to 40th Street) [D6]** is proposed for 2023 to build concrete curb and gutter and sidewalk along the east side of the roadway. This project is budgeted at \$540,000 and will be constructed in conjunction with the resurfacing of Gallagher Hill Road [C13].
- **Mercerwood Drive (92nd Avenue SE to 93rd Avenue SE) [D7]** is proposed for 2024 to construct a pedestrian facility along the south side of Mercerwood Drive. The initial scope for this project is either a separated pathway, like the asphalt pathway separated by a planting strip west of 92nd Ave SE or curb, gutter and sidewalk directly adjacent to Mercerwood Drive. This project is a high priority request of the School District staff and supports Safe Routes to School. This project is budgeted at \$200,000 pending final project scope.
- **Island Crest Way (90th Avenue SE – SE 63rd Street) [D8]** will allocate funding for the design of the missing link in the North-South Bike Route. This section of the North-South Bike routes is a high priority for Neighbor’s in Motion (NIM) and will complete the missing section of bicycle route along the southern portion of Island Crest Way (between Island Park Elementary and Pioneer Park). Staff is proposing project scoping and design in 2024 at a budget of \$200,000. A project for construction will be funded in a future year.
- **Pedestrian and Bicycle Facilities Plan (PBF Plan) Update [D9]** is proposed for both years of the 2019/2020 biennium to provide a comprehensive update to the current PBF Plan, last updated in 2010. Over time standards have changed and new facilities have been built. Updates to the Plan will identify and evaluate projects, provide a preliminary scope of work, and

establish priorities of work with the intention of providing a roadmap, foundation and timeline for future improvements

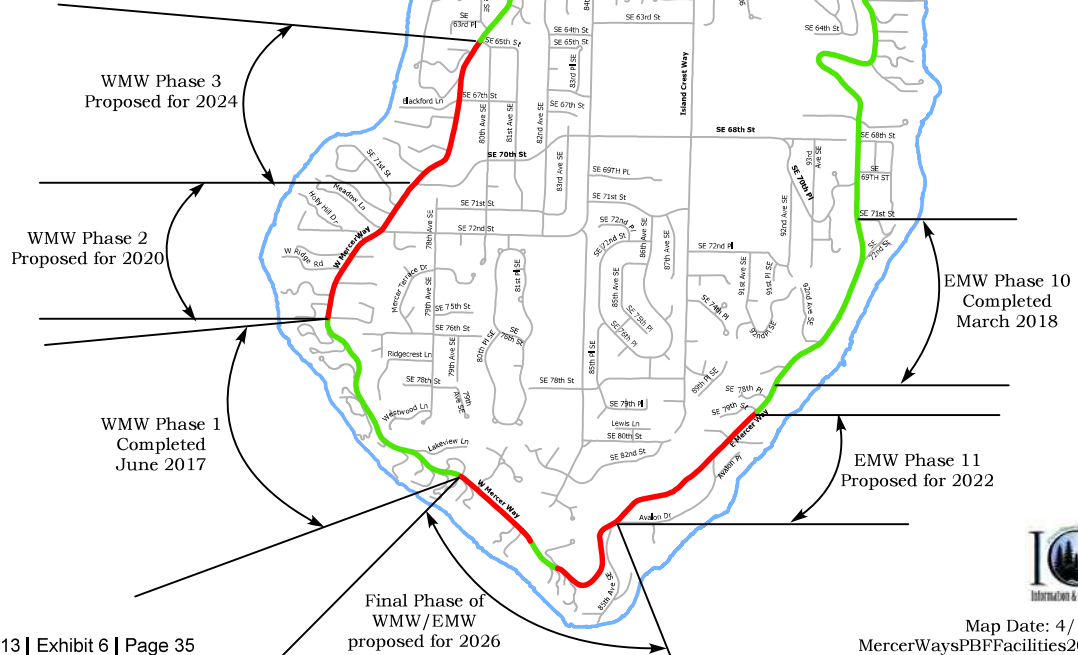
E. Unfunded Projects – Not Reflected in 6-year Plan

- **92nd Avenue (SE 40th Street to SE 41st Street)** This project proposes to install concrete curb, gutter, and sidewalk along the west side of 92nd Avenue to provide a ‘safe walk route’ for Northwood Elementary, the High School and a bus stop location for Islander Middle School. This project will complete a missing link on 92nd Avenue and connect with sidewalks the School District constructed in 2015 along the High School frontage from SE 41st to SE 42nd Streets.
- **84th Avenue SE (SE 33rd Place to SE 36th Street)** This project proposes to install concrete curb, gutter and sidewalk along the east side of 84th Avenue SE to provide a ‘safe walk route’ for Northwood Elementary and the High School. This project is a medium priority request of the School District.
- **Island Crest Way (90th Avenue SE – SE 63rd Street)** This construction project will complete the missing link in the North-South Bike Route. The scope of work will be determined during the design phase proposed for funding in 2024.
- **86th Avenue SE (SE 42nd Street to Island Crest Way)** This project proposes to install concrete curb, gutter, and sidewalk along the east side of 86th Ave SE to provide a walking facility where none currently exists. The project will complete a missing link in the sidewalk network and connect Island Crest Way and the adjacent neighbors to the High School, Northwood Elementary School, the Mary Wayte Pool and PEAK. Drainage work will be required, and widening to provide shared space for bicycles is encouraged.

Current Pedestrian & Bicycle Facilities (PBF) on the Mercer Ways

- Paved Roadside Shoulder
- Sidewalks or Paths
- No Facility

April 2018





BUSINESS OF THE CITY COUNCIL
CITY OF MERCER ISLAND, WA

AB 5421
May 1, 2018
Regular Business

APPLICATION FOR HERITAGE CAPITAL
GRANT FOR LUTHER BURBANK BOILER
BUILDING RENOVATION PHASE 1

Action:
Adopt Resolution No. 1545
authorizing the grant application and
conditional funds for the project

- Discussion Only
Action Needed:
Motion
Ordinance
Resolution

DEPARTMENT OF

Parks and Recreation (Paul West)

COUNCIL LIAISON

n/a

EXHIBITS

- 1. Resolution No. 1545
2. Location Map and Photo Gallery
3. Excerpt from Luther Burbank Park Master Plan
4. Luther Burbank Park Boiler Building Study
5. Letters of Support

2018-2019 CITY COUNCIL GOAL

2. Maintain QofL/Essential Services

APPROVED BY CITY MANAGER

Table with 3 columns: Category, Amount, and Unit. Rows include AMOUNT OF EXPENDITURE, AMOUNT BUDGETED, and APPROPRIATION REQUIRED, all with values of \$ n/a.

SUMMARY

The Luther Burbank Park Boiler Building needs a roof replacement, perimeter drainage, seismic retrofits and minor repairs to prevent total loss in an earthquake or further degradation from water damage. The proposed Boiler Building Renovation Phase 1 project provides these needed services. Parks and Recreation is seeking Washington State grant funding to cover 33% of the needed funding for this project. The grant application requires Council authorizations found in Resolution No. 1545 (see Exhibit 1).

Background

The Boiler Building was constructed in 1928 to house a steam plant for heating the campus of the Boys Parental School. It was repurposed for storage in 1974 by King County, which also added restrooms and a concession stand in a new attached structure on its south side (see Exhibit 2). This was part of a larger park development project which also added a waterfront plaza and docks next to the building. The City of Mercer Island took ownership of these improvements with the transfer of Luther Burbank Park in 2002. In 2015, the City learned that the lands underlying these improvements belong to Washington State Department of Natural Resources (DNR). The City now leases these aquatic lands from DNR. The City leases the vast majority of the land at no cost, because it provides shoreline access to the public. However, the City pays to lease the land underlying the Boiler Building because this building is considered a non-aquatic use. The City pays approximately \$4,300 per year, adjusted for inflation.

The 2006 Luther Burbank Park Master Plan (“Master Plan”) identifies the Boiler Building as a boating/rowing facility “including rental/storage of human powered kayaks, canoes and small sailboats as well as being the operation center of any sailing/boating program that might be offered to serve the community” (see Exhibit 3). Since then, Parks and Recreation has used the Boiler Building to store equipment for its popular sailing and boating camps every summer. The building cannot be occupied for classes or offices because it does not meet building codes for such purposes.

In 2017, consistent with the Master Plan, Parks and Recreation completed a feasibility study for the use of the Boiler Building (see Exhibit 4, Luther Burbank Park Boiler Building Study). The Study, prepared by Cardinal Architecture, concluded that the total build out of a small craft operation center could cost over \$3.0 million. The study identified several preliminary steps needed to simply preserve the existing building as a Phase 1 project. These needs included roof replacement, perimeter drainage, seismic retrofits and minor repairs. The cost of the Phase 1 project was estimated at \$359,000 in 2018 dollars. This scope included restroom accessibility improvements which would be bid as an alternate. It also included reducing the chimney height ten feet and other measures to stabilize the tower. For 2019 construction, staff is setting the budget at \$375,000. Completing this Phase 1 project would not obligate the City to any future phases of renovation. The building would continue to be used as storage, restrooms and concession, allowing sailing and boating programs to remain there.

Preserving the structural integrity of the building is important to the City for several reasons. Without seismic retrofits, the building’s masonry, including the 80-foot chimney, could fall in an earthquake. Not only could this cause injury to park users, but also it would likely destroy the structure. The leaking roof and foundation are causing water to weaken the steel-reinforced concrete structure. Water has to be controlled and kept out of the building envelope to prevent further damage. This building could not be built in this location today. State and local regulations prohibit such development this close to the water, and it is unlikely that DNR would allow a similar new building in an aquatic lease. In addition to losing this iconic piece of history, the City would give up an unparalleled location for a small craft facility.

The Heritage Capital Projects Program was created by the Washington State Legislature as a program of the Washington State Historical Society to provide capital funds for projects that increase public access to history through historic preservation and history interpretation. Grant funding covers up to 33% of the cost of the proposed Phase 1 project. Staff have begun the process of applying for 2018. DNR has given approval as the landowner. The Mercer Island Historical Society and Friends of Luther Burbank Park have written letters of support (see Exhibit 5). The grant application also requires written evidence of the City’s approval of the project, its authority to apply for the grant and its commitment of matching funds for the project.

Resolution No. 1545 meets these three conditions of the grant application. By passing the resolution, the Council approves the Phase 1 project, authorizes the City Manager to apply for the grant, and commits the balance of funds needed to complete the project if the Washington State Historical Society includes the City’s grant request in its Heritage Capital Program funding recommendation to the Governor and Legislature. This recommendation is scheduled to occur in September 2018. City staff will proceed with developing the 2019-2020 Capital Improvement Program budget to include this project. Council will consider the \$250,000 City-funded portion of the project as part of the CIP budget beginning on June 19. If the project is not recommended for state funding, staff will seek additional funding elsewhere to complete this project. This project is ranked as Priority 1 in the Parks Capital Improvement Budget due to safety and structural integrity concerns.

RECOMMENDATION

Interim Parks and Recreation Director

MOVE TO: Pass Resolution No. 1545, which approves the Luther Burbank Boiler Building Renovations Phase 1, authorizes the City Manager to apply for Heritage Capital Grant Funding for the project, and provides conditional funding for the City's matching portion of the grant.

**CITY OF MERCER ISLAND
RESOLUTION NO. 1545**

**A RESOLUTION OF THE CITY OF MERCER ISLAND AUTHORIZING
THE CITY MANAGER TO APPLY FOR WASHINGTON STATE
HISTORICAL SOCIETY HERITAGE CAPITAL GRANT FUNDING TO
SUPPORT THE LUTHER BURBANK BOILER BUILDING RENOVATION
PHASE 1 CAPITAL PROJECT AND PROVIDE A CONDITIONAL
COMMITMENT OF FUNDS FOR SAID PROJECT**

WHEREAS, the Boiler Building was acquired by the City of Mercer Island in 2002 as part of the transfer of Luther Burbank Park from King County; and

WHEREAS, the Boiler Building is located on the shoreline of Lake Washington and provides storage, restroom facilities and concession for the benefit of the public; and

WHEREAS, the Boiler Building was built in 1928 and is an iconic representation of the region's rich historical past; and

WHEREAS, the 2006 Luther Burbank Park Master Plan ("Master Plan") identifies the Boiler Building as a boating/rowing facility including rental/storage of human-powered kayaks, canoes and small sailboats, as well as being the operation center of any sailing/boating program that might be offered to serve the community; and

WHEREAS, the Boiler Building is vulnerable to damage from water intrusion and earthquake damage which could render the facility irreparable; and

WHEREAS, the land that the building is on is owned by and leased from the Washington State Department of Natural Resources as state-owned aquatic lands; and

WHEREAS, state and local regulations could prohibit reconstruction of this building should it fall into disrepair; and

WHEREAS, the City of Mercer Island values public recreation on Lake Washington, preservation of historically significant resources and conservation of its capital assets; and

WHEREAS, the Parks and Recreation Department completed a feasibility study of phased repair and renovation of the Boiler Building in conformance with the Master Plan in 2017; and

WHEREAS, the first phase of renovation, at an estimated cost of \$375,000, simply stabilizes and repairs the building to preserve the City's option for future phases of renovation; and

WHEREAS, the Mercer Island Historical Society and the Friends of Luther Burbank Park have expressed support for this project; and

WHEREAS, the Heritage Capital Projects Program was created by the Washington State Legislature as a program of the Washington State Historical Society in 1995 to provide capital funds for projects that increase public access to history through historic preservation and history interpretation; and

WHEREAS, grant funding of up to 33% of the cost of Phase 1 of the Boiler Building Renovation would preserve this iconic historical building for the enjoyment of current and future generations; and

WHEREAS, the grant application requires written evidence of the City's authority to apply for the grant and its commitment of matching funds for the project;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MERCER ISLAND, WASHINGTON, AS FOLLOWS:

Section 1. The Mercer Island City Council approves the Luther Burbank Boiler Building Renovations Phase 1 project and hereby authorizes the City Manager to apply for a Heritage Capital Program Grant for the Luther Burbank Boiler Building Renovation Phase 1 project; and

Section 2. Provided the Washington State Historical Society includes the City's grant request in its Heritage Capital Program funding recommendation to the Governor and Legislature, the City Council will include the City's portion of the project budget in its 2019-2020 capital budget; and

Section 3. Provided the Legislature and the Governor fail to fund the City's grant request, the City Council may, at its sole discretion, reassign the project's capital funding for other purposes.

PASSED BY THE CITY COUNCIL OF THE CITY OF MERCER ISLAND, WASHINGTON AT ITS REGULAR MEETING ON THE 1ST DAY OF MAY, 2018

CITY OF MERCER ISLAND

Debbie Bertlin, Mayor

ATTEST:

Allison Spietz, City Clerk

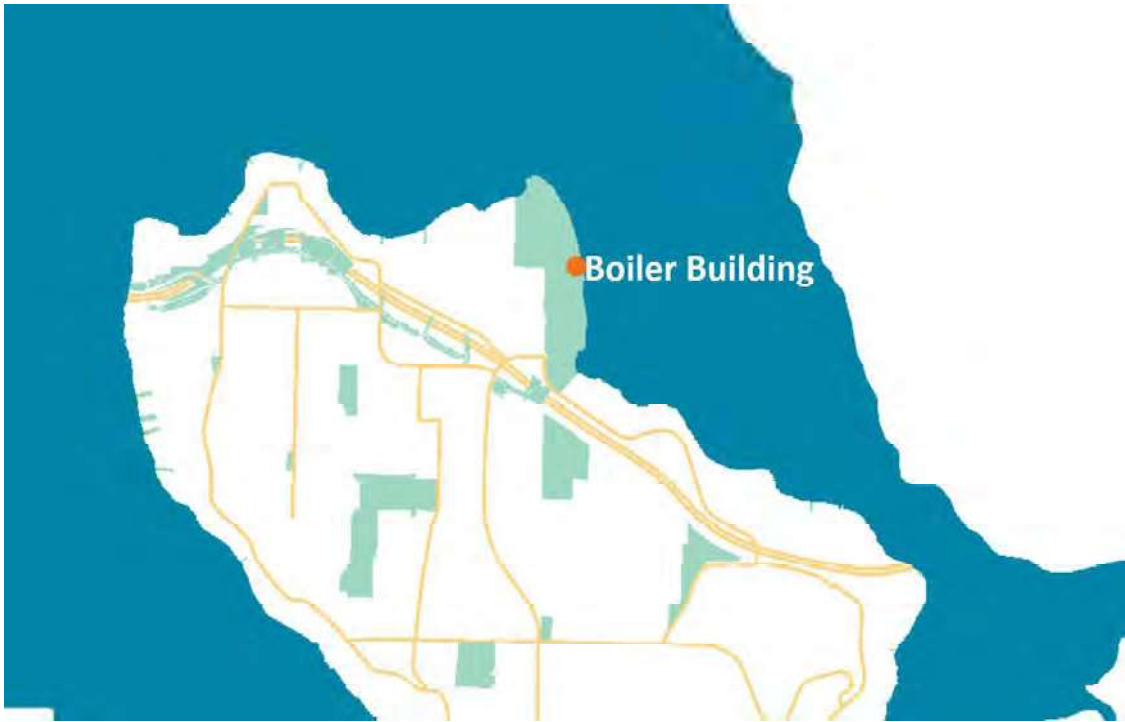


Figure 1: Location Map



Figure 2: Aerial View



Figure 3: View from dock showing 1974 restroom addition



Figure 4: Boating Programs

Dock/ Boiler Building Area:

The Dock and Boiler Building Area maintains much of its character and physical elements, but has added programming to return the area to its once active use. Restoration of the docks and boiler building to support a boating/rowing facility (primarily human powered boating) will bring a relatively low impact use to the area. Highlights include:

- A boating/rowing facility would make use of the existing boiler for maritime use including rental/storage of “human powered” kayaks, canoes, and small sailboats as well as being the operation center of any sailing/boating program that might be offered to serve the community.
- A shell house to serve rowing is located at the top of the boiler building access road, where it serves rowing as a functional location, but is remotely located from the docks, reducing shoreline impacts.
- Improved access from the campus areas is provided to the area with reduced grade paths (ADA access is a focus of these improvements, but may not be achieved due to site grades)
- The piers are to be restored with the north dock to remain as passive use (fishing, sunbathing, etc., no swimming) with addition of ladders. The south dock is to be replaced and straightened with lower floating dock with improved finger piers for small motor craft, “human powered” boats and motorized launch boat storage.
- The existing restroom structures receive plumbing. Security upgrades and utilities in this area present an opportunity to serve a mobile concessionaire.
- The shoreline is improved with an aggregate beach to provide direct access to the water (without bulkhead) for boat launching and a homeowner demonstration garden abutting bulkhead with interpretive signage.





Luther Burbank Park Boiler Building Study

28 February 2017



Luther Burbank Park
2040 84th AV. SE
Mercer Island, WA 98040



1326 5th Avenue #440
Seattle WA 98101
206 624-2365



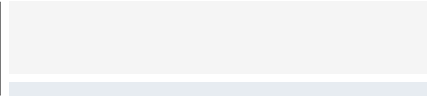
LUTHER BURBANK PARK BOILER STUDY TABLE OF CONTENTS

1) SUMMARY

2) PROJECT PHASE DESCRIPTIONS

3) STUDY DOCUMENTS (PDF Bookmarks)

- Existing Drawings
- Phase I Repair Drawings
- Phase II A Renovation Drawings
- Phase II B Renovation Drawings
- Chimney Modification Photos
- Cost Report – DCW Collaborative
- Project Budgets
- Kickoff Meeting Notes – 3 November 2016
- Kayak Academy Meeting Notes – 3 November 2016
- City of Mercer Island Pre App Meeting Notes – 8 November 2016
- Sail Sand Point – 16 November 2016
- Progress Meeting Notes – 8 December 2016
- Progress Meeting Notes – 5 January 2017

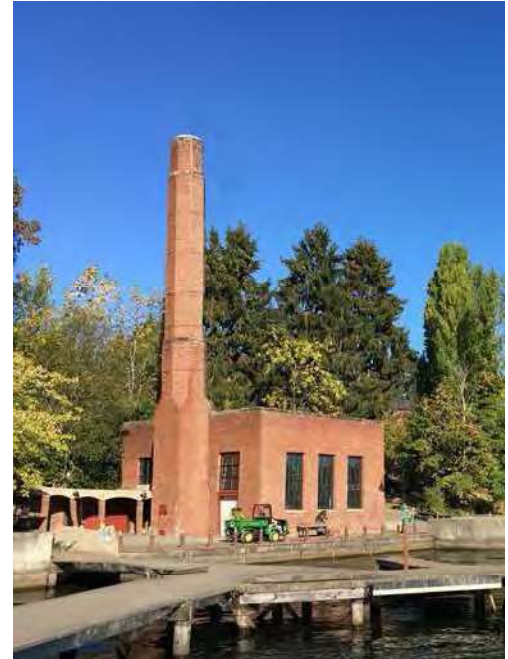


1) SUMMARY

The City of Mercer Island engaged Cardinal Architecture to study the existing Boiler Building located on the east shore of Luther Burbank Park. The Boiler Building was built in 1928 to supply steam heat for the adjacent school. It was designed by FA Naramore Architect of Seattle, and is a 1,672 SF one story building with an 80 foot chimney. In 1974, a 520 SF one story structure was added to the south side of the original building, and the addition contains both men's and women's toilet rooms and a room to sell concessions. The buildings are concrete structures with brick veneer, and the chimney is a combination of concrete and brick. The Boiler Building has been used recently to support non-motorized boating classes. The classes are taught during summers at the adjacent Lake Washington docks and shoreline.

The purpose of the study was to evaluate the existing structure for safety, evaluate options for repairs and renovation, and to estimate construction and project costs. In addition, the study was to review options for expanding summer boating programs.

The current and proposed use of the Boiler Building for non-motorized boating instruction is the direction intended in the 2006 Luther Burbank Park Master Plan.

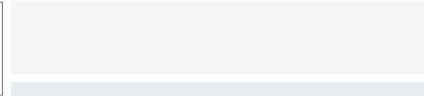


Steering Committee members:

Bruce Fletcher	Parks and Recreation Director
Diane Mortenson	Recreation Superintendent
Paul West	Parks Operations Superintendent
Ken Brooks	Parks Manager
Marcy Olson	Facilities Project Manager
Alex Harvey	Parks Team Member/Luther Burbank Park
Myra Lupton	Community member
Kate Lamperti	Friends of Luther Burbank Park

The consultants who worked on the study include:

Jim Cary & Jesse Belknap	Architects	Cardinal Architecture PC, Seattle
Greg Coons	Structural Engineer	SSF Engineers, Seattle
Trish Drew	Cost Estimator	DCW Collaborative Works, Seattle



Building Code Summary

The Boiler Building is currently permitted as a storage building with accessory toilet rooms and concessions space. As long as the current uses are maintained, the building is not required to upgrade to current building code requirements. If the uses are changed, from storage to meeting room for instance, or if major construction improvements are proposed, then building code compliant improvements will be required. Repairs, such as seismic repairs and building repairs are not considered major construction improvements or change of use.

Greg Coons, structural engineer at SSF Engineers of Seattle, reviewed the Boiler Building and the following is his report:

This report presents the results of our structural assessment study of the Luther Burbank Park Boiler Building located in Luther Burbank Park, Mercer Island Washington. The purpose of this assessment was to evaluate the general structural condition of the building in general accordance with ASCE 11-99, "Structural Condition Assessment of Existing Buildings", and the condition of the lateral force resisting system of the building and Chimney to identify deficiencies in accordance with ASCE/SEI 41-13 "Seismic Evaluation and Retrofit of Existing Buildings". Our conclusions are based on our site visit, the original architectural and structural drawings, our calculations, and our experience with other buildings of this age and construction.

We evaluated the overall structural condition in general accordance with ASCE 11-99 using the loading requirements of ASCE 7-10. Although, we observed cracking in some of the exterior concrete walls and roof, the cracks do not represent a life-safety hazard. In general, we found that the building is in good structural condition, and found no structural reason the building could undergo the proposed adaptive reuse. We also evaluated the reinforced concrete bathroom building roof structure and determined that the existing structure could support an assembly area occupancy.

Our seismic assessment was performed using the Tier 1 and Tier 2 procedures in accordance with ASCE 41-13. The Tier 1 procedure of ASCE 41 provides a method for visual screening using checklists to identify structural deficiencies related to seismic safety. Tier 1 visual screening is combined with a Tier 2 analytic evaluation for those elements identified as deficient during the screening process. Where new structural elements are recommended, they are designed to meet ASCE 41 strength requirements, and to meet new building code detailing. Performance objectives and seismic hazard were selected in accordance with the International Existing Building Code. Specifically, a Life-Safety performance objective was used with a BSE-1E seismic hazard. We found that although the building structure, by itself, meets the Life Safety performance objective, portions of the non-structural veneer and parapet caps do not. We recommend anchoring the brick veneer to the concrete backing walls, with Helifix, or equivalent, wall anchors adjacent to the primary building exits. In addition, we recommend anchoring the parapet caps to their supporting concrete walls below. Finally, we found that the chimney would be unstable during a seismic event and is a collapse hazard. We recommend a combination of height reduction, strengthening, and tying the chimney into the existing building structure.

In addition to the structural improvements, we recommend replacing the roofing and upgrading the toilet rooms.

Accessibility Summary

The existing Boiler Building was evaluated for accessibility based on use. The storage portion of the building is not a public space and accessibility is not required. The existing entry doors do not meet accessibility standards and the existing flooring is very uneven and is also not compliant. The toilet rooms do not meet current accessibility standards based on entry doors, room access, plumbing fixture access, and accessories.

The location of the Boiler Building is on the shoreline, and downhill from the main parking lot. The current path from the parking lot is paved and in good shape. It passes the Administration Building, then continues down a steep hill to the shore and the north side of the Boiler Building. Because of the steep slope, however, the path exceeds the minimum required slope to meet current pedestrian access requirements.



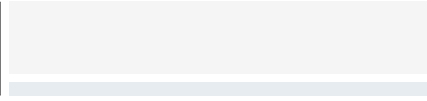
Boating Instruction Summary

At the beginning of the study, we met with Nino Johnson of Sail Sand Point and Barbara Gronseth of Kayak Academy to discuss their current summer youth programs and their future needs. Summaries of both meetings are included in the document section of this report. Both programs use the Boiler Building for storage during their summer programs, and they share the storage space when both programs are operating at the same time. Currently the large boiler space is only used for storage. The toilet rooms are open to the public. Both Sail Sand Point and Kayak Academy said they would be interested in expanding their programs with more classes, more vessels, and even longer seasons that include rentals if there was more storage and the building was better outfitted to meet their needs. Additional needs include better toilet rooms, an indoor classroom, better storage organization, more storage and a concessions office to rent equipment. Kayak Academy also expressed interest in running a food concessions from the Boiler Building.



Sail Sand Point uses the floating dock on the south west end of the existing docks. Kayak Academy uses the rocky beach at the north end of the Boiler Building for launching. Neither program uses the extensive stationary docks, except to access the floating dock. Sail Sand Point expressed interest in modifying the dock area to include more floating docks. The docks were not included in this study, but the information is useful relative to the expanded use of the Boiler Building for instructional use.

Sail Sand Point uses the floating dock on the south west end of the existing docks. Kayak Academy uses the rocky beach at the north end of the Boiler Building for launching. Neither program uses the extensive stationary docks, except to access the floating dock. Sail Sand Point expressed interest in modifying the dock area to include more floating docks. The docks were not included in this study, but the information is useful relative to the expanded use of the Boiler Building for instructional use.



2) PROJECT PHASE DESCRIPTIONS

The potential projects are separated into two phases. Phase I includes repair scope that also addresses seismic repair. This scope can be constructed without changing the use of the building or requiring that the entire building is improved to current building code requirements.

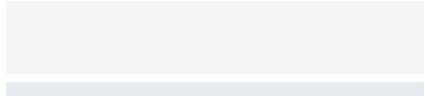
Phase II are construction projects that provide substantial improvements to the structure and site, and also change the building use from storage to public occupation. Phase II A creates a new path from the parking lot down to the Boiler Building and also converts the existing toilet room roof to an outdoor deck/classroom. Phase II B changes the use of the storage area to new classroom space, new offices, and maintains boat storage below.

After the completion of both phases of construction, the boiler building will be seismically repaired, will have upgraded systems, and will also provide new program space for the City of Mercer Island Parks and Recreation Department.

PHASE I REPAIR PROJECT DESCRIPTION

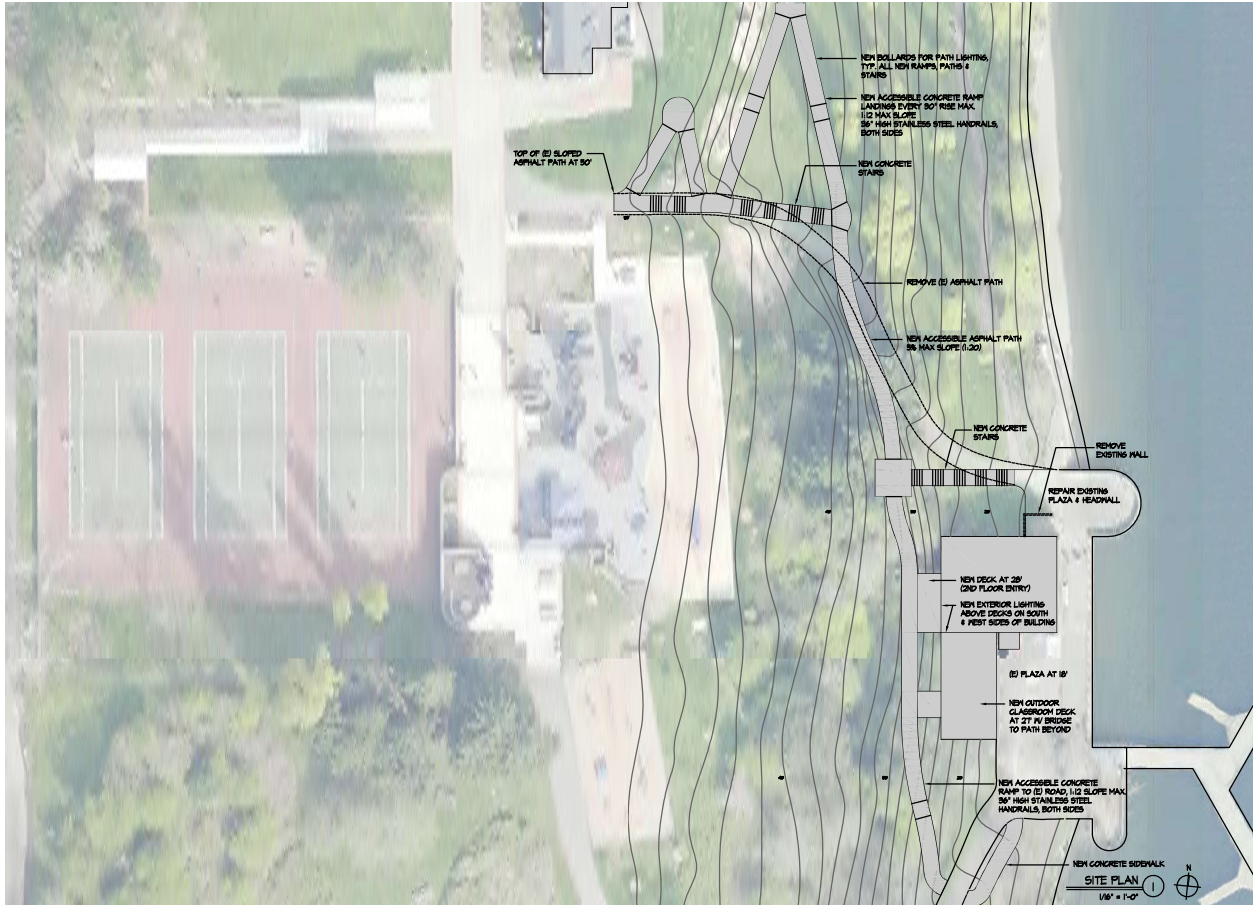
- Install new foundation drainage at bottom of footings and connect to (E) site drainage.
- Remodel (E) bathrooms for accessibility and improved fixtures.
- Replace (E) framed walls in concession buildings with new concrete walls.
- Remove portion of (E) chimney. See options on sheet A4-31
- Remove existing boiler buildings roofing and install new built-up roofing
- Repair and reinforce (E) brick cladding and stone parapet cap on boiler building





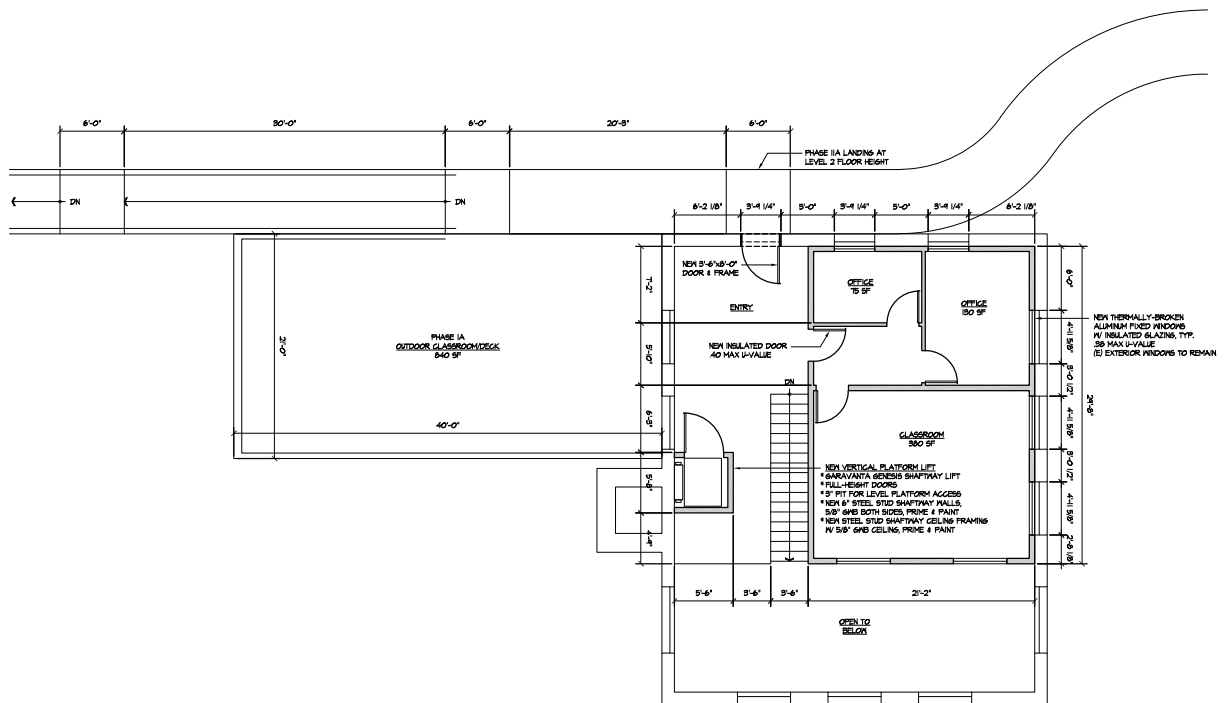
PHASE IIA PROJECT DESCRIPTION

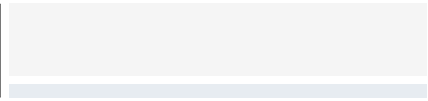
- New accessible path and stairs from top of hill to shoreline, including concrete ramps and stairs, asphalt paths and boardwalk
- New outdoor classroom deck on roof of (E) bathroom building



PHASE IIB PROJECT DESCRIPTION

- New second floor in boiler building with new entry, classroom and (2) offices
- New interior stairs and enclosed platform lift in boiler building
- New second floor entry on uphill (West) side of boiler building, connecting to phase IIA accessible route to top of hill
- Reinforce (E) brick cladding at new second floor entry.
- Remodel (E) concession area in bathroom building







3) STUDY DOCUMENTS

The following documents were produced during the study. They include Existing Drawings, Phase I & II Drawings, Construction & Project Cost Estimates, and Meeting Notes.

PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

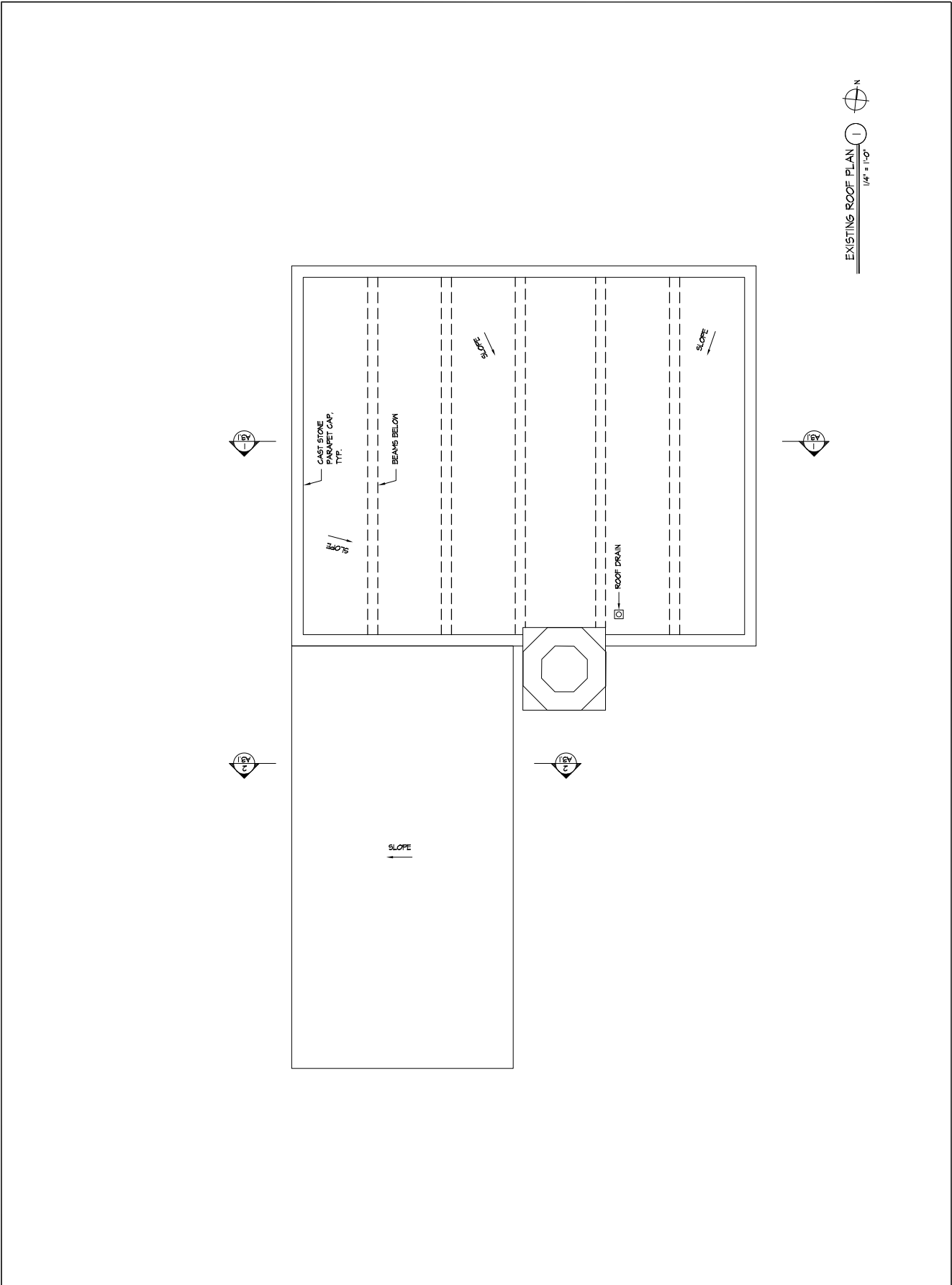
LUTHER BURBANK PARK
BOILER BUILDING STUDY
2040 84TH AVENUE SE
MERCER ISLAND, WA 98040

CARDINAL
ARCHITECTURE PC
1550 17th Avenue SE
Suite 213
Burien, WA 98148
360.835.8181

#1634
15 NOVEMBER 2016

EXISTING
ROOF PLAN

A2.3



PRELIMINARY
NOT FOR CONSTRUCTION

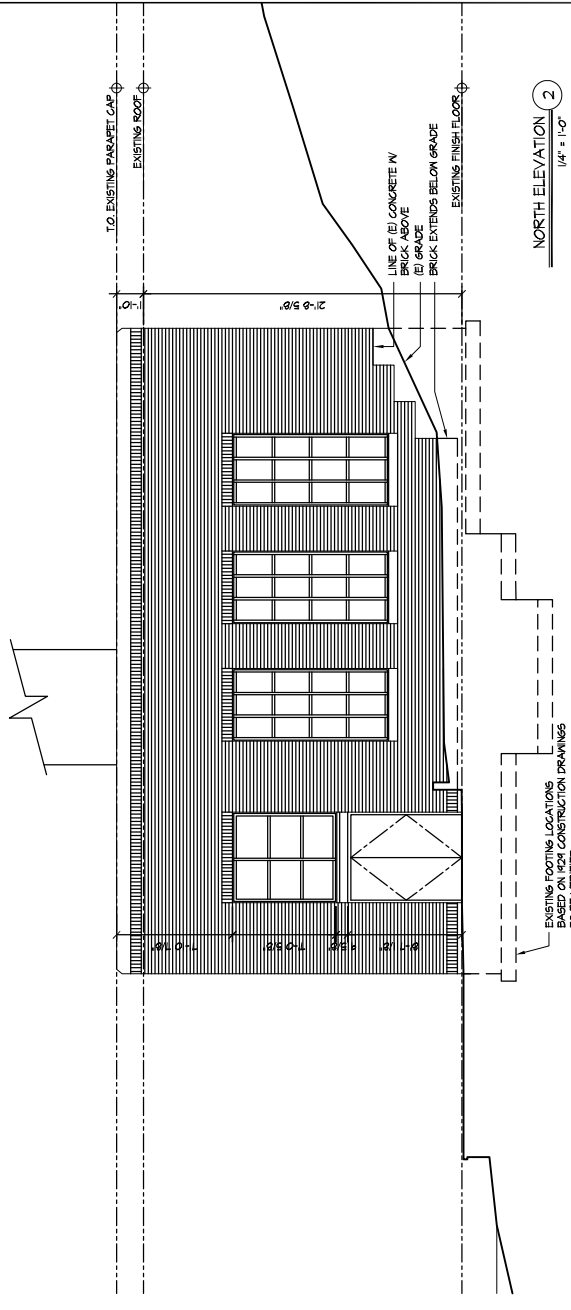
REVISIONS

LUTHER BURBANK PARK
BOILER BUILDING STUDY
2040 84TH AVENUE SE
MERCER ISLAND, WA 98040

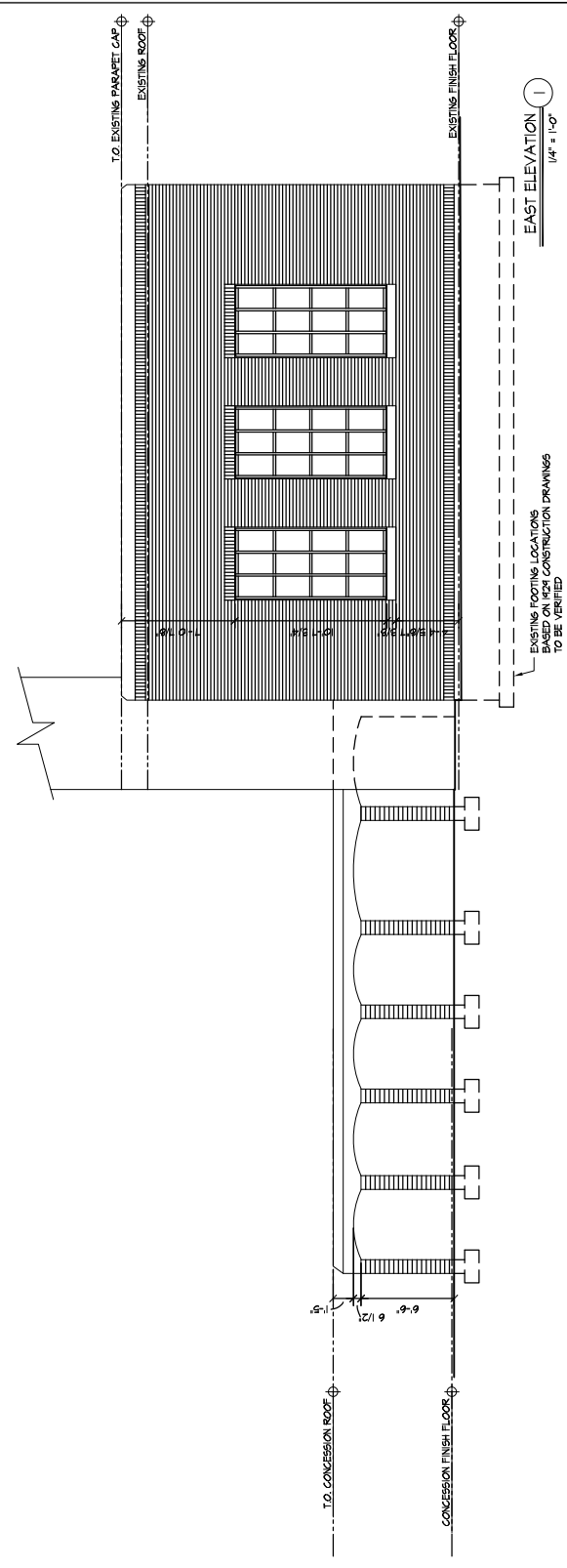
CARDINAL
ARCHITECTURE PC
10500 15TH AVENUE SE #400
SUNNYVALE, WA 98095
360.881.8151

#1634
15 NOVEMBER 2016
EXISTING
BUILDING
ELEVATIONS

A4.1



NORTH ELEVATION (2)
1/4" = 1'-0"



EAST ELEVATION (1)
1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

LUTHER BURBANK PARK
BOILER BUILDING STUDY
PHASE I REPAIR
2040 84TH AVENUE SE
MERCER ISLAND, WA 98040



#1634
5 JANUARY 2017

PROJECT
INFORMATION

T1-I

PROPERTY & LAND USE INFORMATION

LOCATION: LUTHER BURBANK PARK
2040 8TH AVENUE
PROPERTY OWNER: CITY OF MERCER ISLAND
LEGAL: 6L 6L 186 186 5 80 FT REFERRED TO 163
DESCRIPTION: FOR RD JAZER AND FILL IN DISTRICT
APN: 062409014
PARCELS: 981702 5F (22.86 ACRES)
LAND USE INFORMATION
H4.02.00

USES PERMITTED IN SINGLE-FAMILY ZONE R-1.5
A. ACCESS TO LOCAL AND/OR ARTERIAL THOROUGHFARES
B. OPEN SPACE PERMITTED TABLE A1
C. UPON ADJOINING PROPERTIES AND STREETS
D. MAJOR STRUCTURES BALLFIELDS AND SPORT COURTS SHALL
BE LOCATED A LEAST 30 FEET FROM ADJOINING PROPERTY.
E. A FLOT, LANDSCAPE AND BUILDING PLAN SHOWING COMPLIANCE
WITH THESE CONDITIONS SHALL BE FILED WITH THE CITY
DEVELOPMENT SERVICES GROUP (DS6) FOR ITS APPROVAL.
CURRENT USE IS 'STORAGE ACCESSORY TO PARK'

H4.07.10
SHORELINE MASTER PROGRAM USES & STRUCTURES MAY CONTINUE
G1 - SITE IS IN URBAN PARK ENVIRONMENT
GOVERNMENT SERVICES PUBLIC FACILITIES PARKS &
OPEN SPACE PERMITTED TABLE A1
SETBACKS FOR ALL STRUCTURES & PARKING: 25' FROM OHM
MAXIMUM INTERVIEWS SURFACE COVERAGE: 50% BETWEEN 0' & 25' FROM OHM
ORDINARY HIGH WATER MARK IS 18'-6"

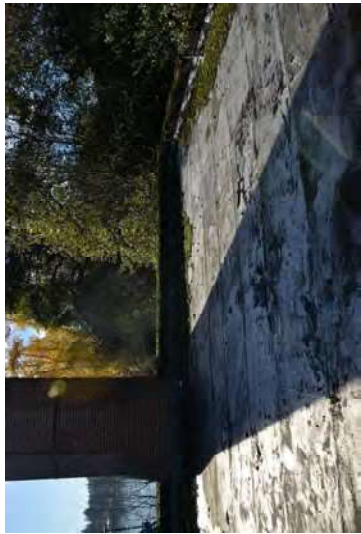
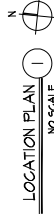
BUILDING CODE INCORPORATION

APPLICABLE CODE: 2015 INTERNATIONAL BUILDING CODE IV
W/ WASHINGTON STATE AMENDMENTS
CONSTRUCTION TYPE: CURRENT STRUCTURE IS TYPE IA, NON-SPRINKLED
PROPOSED PHASE IIB RENOVATIONS TO BE TYPE IIB, SPRINKLED
NONCOMBUSTIBLE CONSTRUCTION
PRIMARY FRAME: NO RATING REQUIRED
FLOOR STRUCTURE: NO RATING REQUIRED
ROOF STRUCTURE: NO RATING REQUIRED
OCCUPANCY TYPE: CURRENT OCCUPANCY IS S-I STORAGE
PROPOSED OCCUPANCY FOR PHASE IIB RENOVATIONS TO BE
CHAPTER 5
HEIGHTS & AREAS: EXISTING BUILDING HEIGHTS & AREAS
CHAPTER 5
CONCRESSION BUILDINGS: (1) STORY, 24' HIGH, 1803 SF
ALLOWABLE HEIGHTS & AREAS: UNLIMITED BIAS OCCUPANCY:
(1) STORIES, 65' HIGH, 32,000 SF PER STORY
OCCUPANT LOADS: TABLE 1004.1.2
CURRENT OCCUPANT LOAD (STORAGE): 1600 SF/800 = (6) OCCUPANTS
PROPOSED OCCUPANT LOAD (STORAGE): 1600 SF/200 = (8) OCCUPANTS
LEVEL 1 (STORAGE): 1600 SF/200 = (8) OCCUPANTS
LEVEL 2 (CLASSROOMS): 300 SF/20 = (15) OCCUPANTS
TOTAL OCCUPANT LOAD: 1600 SF/200 = (8) OCCUPANTS
(1) EXIT REQUIRED
ACCESSIBILITY: CHAPTER 11, ANSI A117.1
NO ACCESSIBLE ROUTE TO THE BUILDING CURRENTLY EXISTS
BATHROOMS TO BE REDESIGNED FOR ACCESSIBILITY IN PHASE I
FOR CHANGE OF USE PHASE II, ACCESSIBLE ROUTE WILL BE PROVIDED
FROM TOP OF HILL TO ENTRANCES AT LEVELS 1 & 2 AND BATHROOMS.

EXAMINING INDEX

PROJECT INFORMATION
T1-I SITE PLAN
A2-I-1 FLOOR PLAN
A2-I-2 BOILER PLAN
A2-I-3 BOILER SECTIONS
A4-I-1 BUILDING ELEVATIONS
A4-I-2 BUILDING ELEVATIONS
A4-I-3 STACK ELEVATION

PHASE I REPAIRS PROJECT DESCRIPTION
* REPAIR AND REINFORCE BOTTOM OF FOOTINGS & CONNECT TO (E) SITE DRAINAGE
* REPAIR AND REINFORCE EXISTING CONCRETE WALLS WITH REINFORCED CONCRETE
* REPLACE (E) FRAMED WALLS IN CONCRESSION BUILDING WITH NEW CONCRETE WALLS
* REMOVE PORTION OF (E) CHIMNEY & REINFORCE REMAINING CHIMNEY. SEE OPTIONS ON SHEET A4-I-3
* REPAIR AND REINFORCE EXISTING CONCRETE WALLS WITH REINFORCED CONCRETE
* REPAIR & REINFORCE (E) BRICK COLUMNS & STONE PARAPET CAP ON BOILER BUILDING



PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

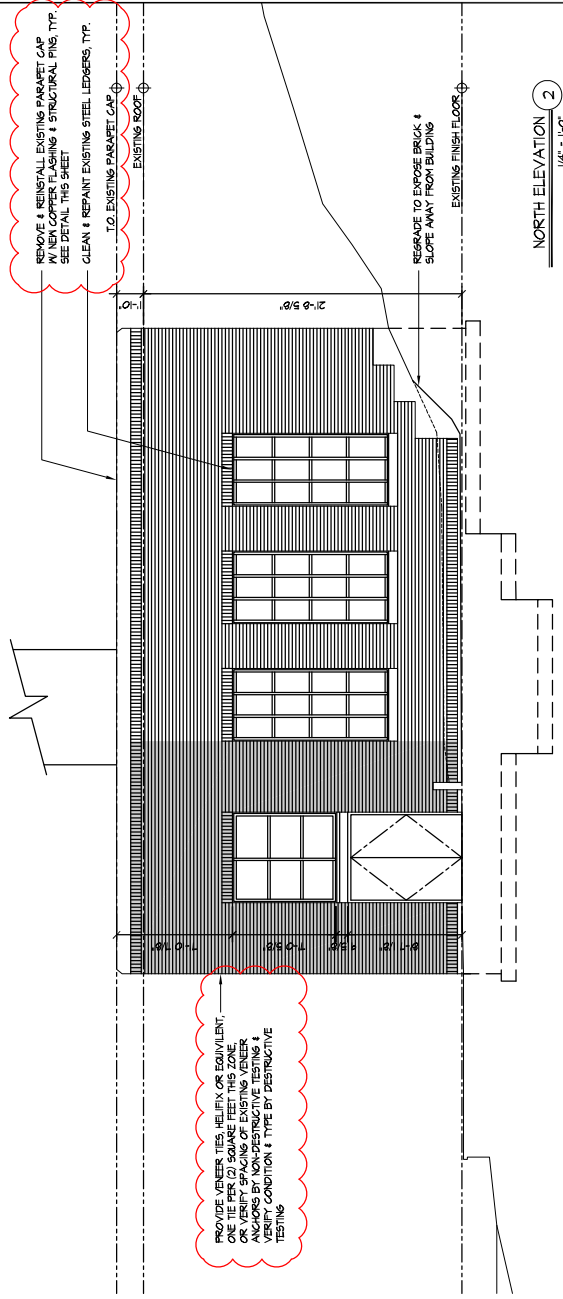
LUTHER BURBANK PARK
BOILER BUILDING STUDY
PHASE I REPAIR
2040 84TH AVENUE SE
MERCER ISLAND, WA 98040

CARDINAL
ARCHITECTURE PC
1000 1ST AVENUE, SUITE 4400
SEASIDE, WA 98138
360.428.1001
360.428.1002

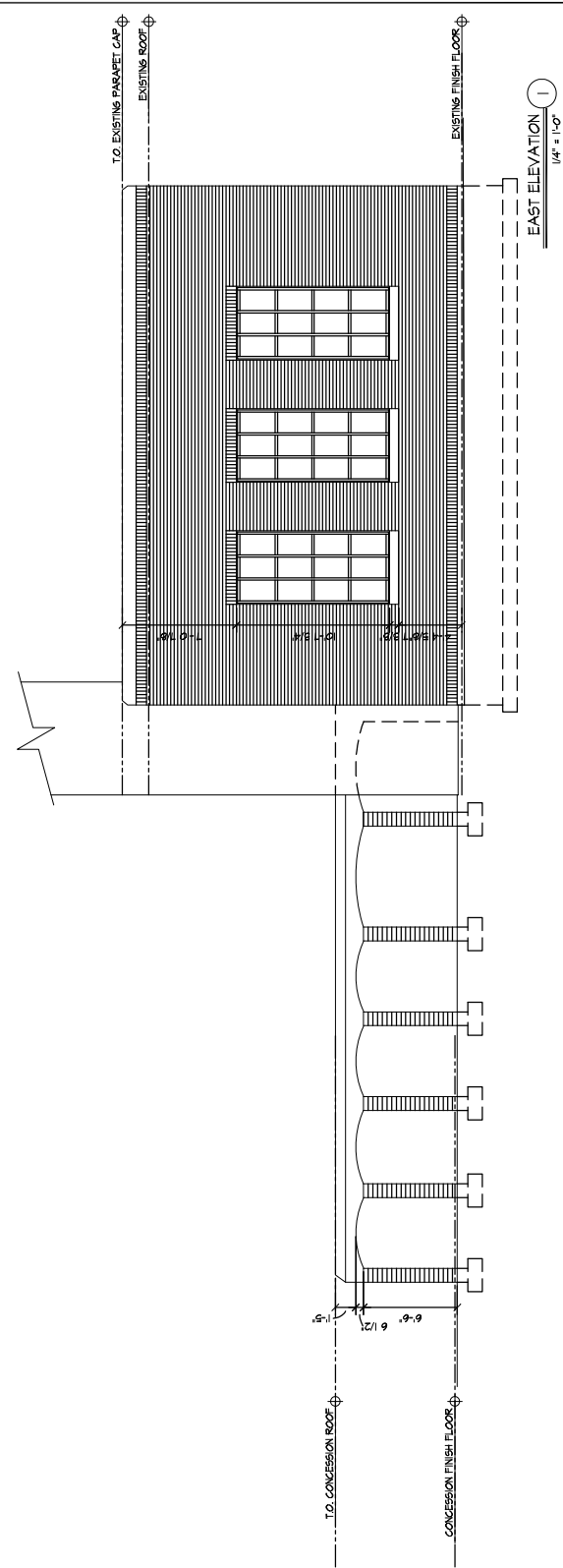
#1634
5 JANUARY 2017

BUILDING
ELEVATIONS

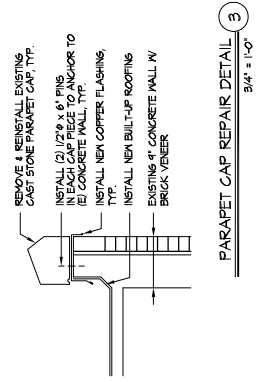
A4.1-I



NORTH ELEVATION 2
1/4" = 1'-0"



EAST ELEVATION 1
1/4" = 1'-0"



PARAPET CAP REPAIR DETAIL 3
3/4" = 1'-0"



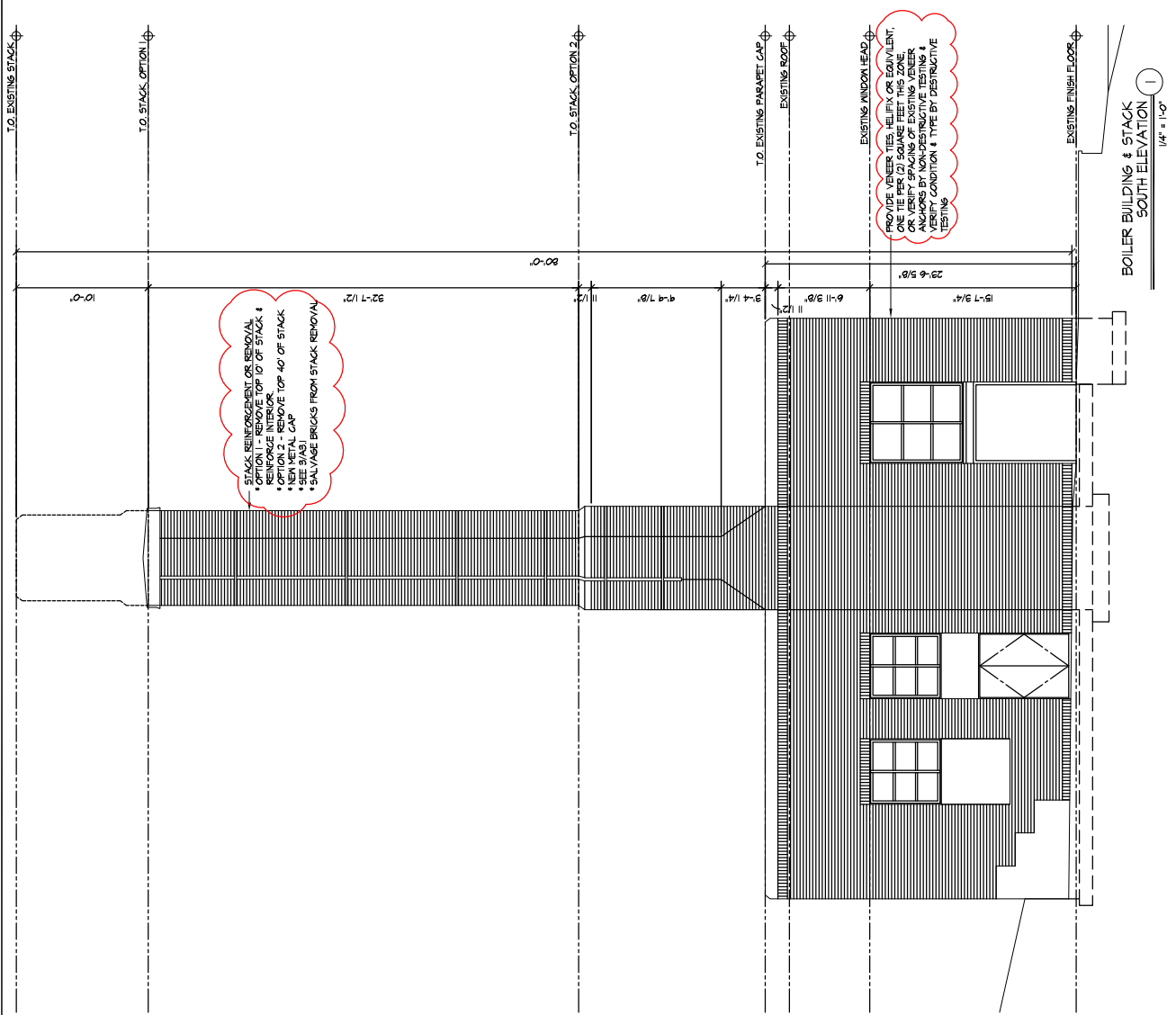
BOILER BUILDING W/ STACK REPAIR OPTION 2 4
NO SCALE



BOILER BUILDING W/ STACK REPAIR OPTION 3 3
NO SCALE



EXISTING BOILER BUILDING & STACK 2
NO SCALE



REVISIONS

LUTHER BURBANK PARK
BOILER BUILDING STUDY
PHASE I REPAIR
2040 84TH AVENUE SE
MERCER ISLAND, WA 98040

CARDINAL
ARCHITECTURE PC
1000 1ST AVENUE 440
SUITE 200
BUMKINIST

#1634
5 JANUARY 2017
STACK ELEVATION

A4.3-I

PRELIMINARY
NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION
PRELIMINARY

LUTHER BURBANK PARK
PHASE II A
BOILER BUILDING STUDY
2040 84TH AVENUE SE
MERCER ISLAND, WA 98040



#1634
5 JANUARY 2016

PROJECT
INFORMATION

T1-IIA

PROPERTY & LAND USE INFORMATION

LOCATION: LUTHER BURBANK PARK
2040 84TH AVENUE

PROPERTY OWNER: CITY OF MERCER ISLAND

LEGAL DESCRIPTION: 61.6 LEGS THE 9.30 FT DEEPED TO 160
FOR RD JACER AND FILE NO 1042120

ASN: 0654096014

ZONING: R-2

PARCEL SIZE: 995,102 SF (22.86 ACRES)

LAND USE INFORMATION

M 02.00

USES PERMITTED IN SINGLE-FAMILY ZONE R-15

A6 - PUBLIC PARKS PERMITTED

A7 - ACCESS TO LOCAL AND/OR ARTERIAL THOROUGHFARES

B1 - OUTDOOR RECREATION PERMITTED

B2 - OUTDOOR LIGHTING SHALL BE LOCATED TO MINIMIZE GLARE UPON ADJACENT PROPERTY AND STREETS.

C. MAJOR STRUCTURES, BALLFIELDS AND SPORT COURTS SHALL BE LOCATED TO THE REAR OF THE PROPERTY.

D. IF A PERMIT IS REQUIRED FOR A PROPOSED IMPROVEMENT WITH THESE CONDITIONS SHALL BE FILED WITH THE CITY DEVELOPMENT SERVICES GROUP (DSG) FOR ITS APPROVAL.

CURRENT USE IS 'STORAGE ACCESSORY TO PARK'

M 07.10

SHORELINE MASTER PROGRAM

B1 - LEGAL NONCONFORMING USES & STRUCTURES MAY CONTINUE

C1 - SITE IS IN URBAN PARK ENVIRONMENT

GOVERNMENT SERVICES PUBLIC FACILITIES PARKS & RECREATION

E1 - SHORELINE AND DEVELOPMENT STANDARDS LANDWARD OF OHM. SETBACK FOR ALL STRUCTURES & PARKING: 25' FROM OHM. MAXIMUM IMPERVIOUS SURFACE COVERAGE: 50% BETWEEN 0' & 25' FROM OHM. ORDINARY HIGH WATER MARK IS 18'-6"

BUILDING CODE INFORMATION

APPLICABLE CODE: 2015 INTERNATIONAL BUILDING CODE W/ WASHINGTON STATE AMENDMENTS

CONSTRUCTION TYPE: CURRENT STRUCTURE IS TYPE IA, NON-SPRINKLED

CHAPTER 6

PROPOSED PHASE II B RENOVATIONS TO BE TYPE IIB, SPRINKLED NONCOMBUSTIBLE CONSTRUCTION

EXISTING WALLS: NO RATING REQUIRED

FLOOR STRUCTURE: NO RATING REQUIRED

ROOF STRUCTURE: NO RATING REQUIRED

CHAPTER 3

CURRENT OCCUPANCY IS 5-1 STORAGE

PROPOSED OCCUPANCY FOR PHASE II B RENOVATIONS TO BE 5-1 STORAGE & B BUSINESS

HEIGHTS & AREAS: EXISTING BUILDING HEIGHTS & AREAS

CHAPTER 5

BOILER BUILDING: (1) STORY, 24' HIGH, 1600 SF

CONCESSIONS BUILDING: (1) STORY, 24' HIGH, 888 SF

ALLOWABLE HEIGHTS & AREAS

TYPE IIB CONSTRUCTION SPRINKLED, B15 OCCUPANCY:

(B) 1 STORIES, 65' HIGH, 32,000 SF PER STORY

ALLOWABLE HEIGHTS & AREAS

CURRENT OCCUPANT LOAD (STORAGE): 1600 SF/800 = (6) OCCUPANTS

(1) EXIT REQUIRED

PROPOSED BOILER BUILDING OCCUPANT LOAD:

LEVEL 1 (STORAGE): 1600 SF/800 = (6) OCCUPANTS

LEVEL 2 (STORAGE): 1600 SF/800 = (6) OCCUPANTS

LEVEL 3 (OFFICE): 208 SF/100 = (2) OCCUPANTS

LEVEL 4 (OFFICE): 208 SF/100 = (2) OCCUPANTS

(1) EXIT REQUIRED

ACCESSIBILITY: NO ACCESSIBLE ROUTE TO THE BUILDING CURRENTLY EXISTS

CHAPTER II, ANSI A111

BATHROOMS TO BE RENOVATED FOR ACCESSIBILITY IN PHASE I. FOR CHANGE OF USE (PHASE II), ACCESSIBLE ROUTE WILL BE PROVIDED FROM TOP OF HILL TO ENTRANCES AT LEVELS 1 & 2 AND BATHROOMS

DRAWING INDEX

T1-IIA PROJECT INFORMATION

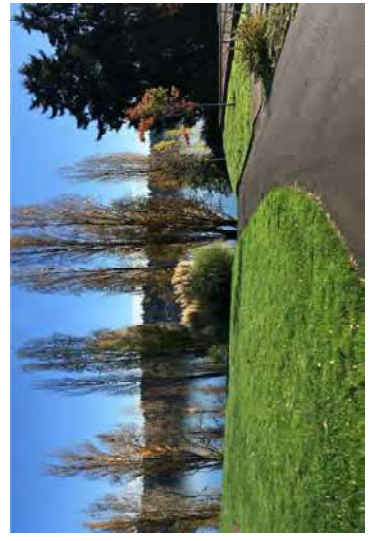
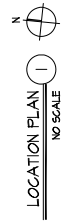
A1-IIA SITE PLAN

A2-IIA NEW ROOF DECK PLAN

A3-IIA BUILDING SECTION & ELEVATION

PHASE II A PROJECT DESCRIPTION

- NEW CONCRETE RAMP FROM TOP OF HILL TO SHORELINE, INCLUDING CONCRETE RAMPS & STAIRS
- STAIRS, ASPHALT PATHS & BOARDWALK
- NEW OUTDOOR CLASSROOM DECK ON ROOF OF (B) BATHROOM BUILDING



PRELIMINARY
NOT FOR CONSTRUCTION

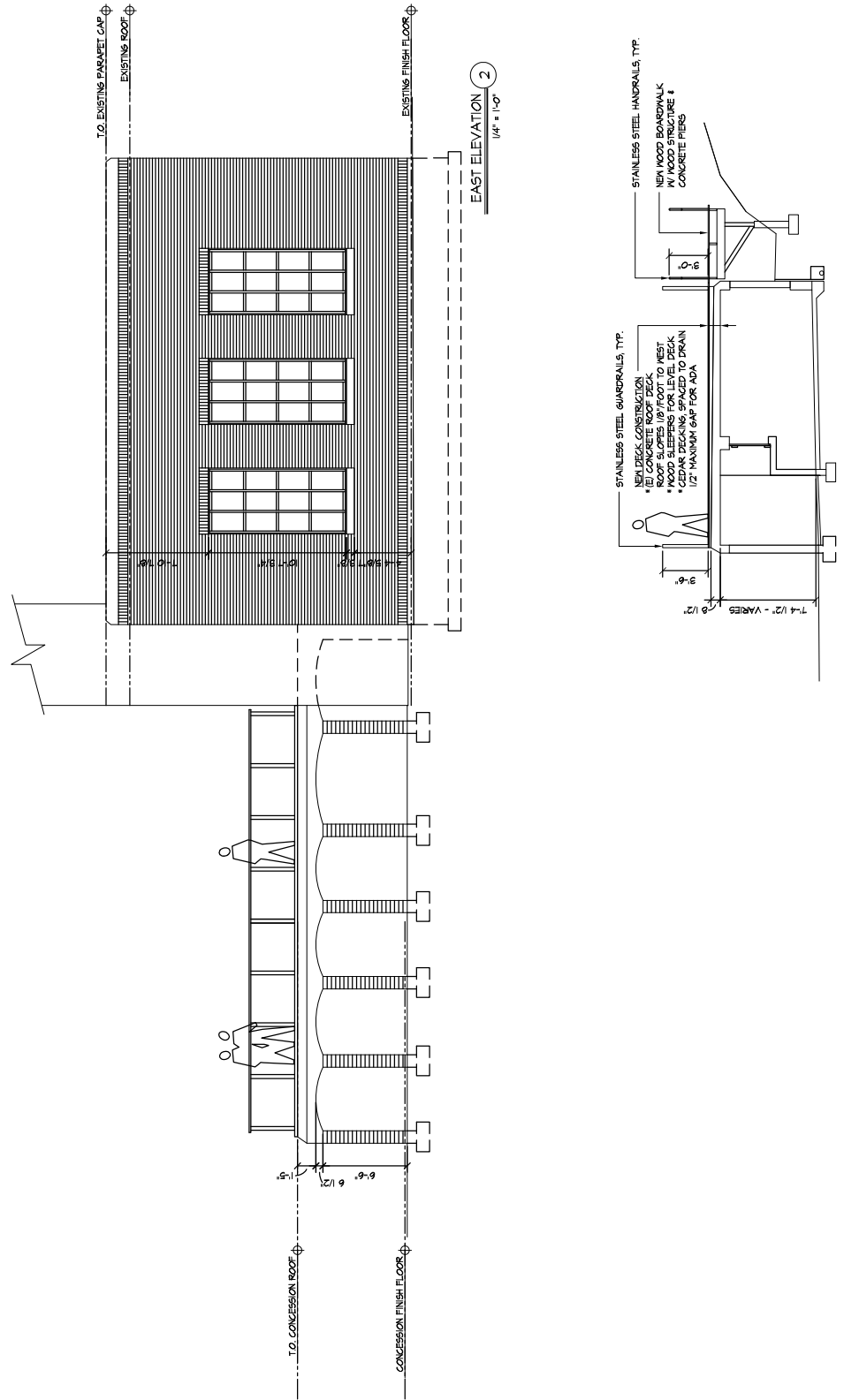
REVISIONS

LUTHER BURBANK PARK
BOILER BUILDING STUDY
PHASE II A
2040 84TH AVENUE SE
MERCER ISLAND, WA 98040

CARDINAL
ARCHITECTURE PC
1250 17th Avenue SE
Suite 213A
Burien, WA 98148
360.835.1111

#1634
5 JANUARY 2016
BUILDING
SECTION &
ELEVATION

A3.1-IIA



EAST ELEVATION (2)
1/4" = 1'-0"

SECTION THROUGH CONCESSION BUILDING & NEW OUTDOOR CLASSROOM (1)
1/4" = 1'-0"

NOT FOR CONSTRUCTION
PRELIMINARY

LUTHER BURBANK PARK
PHASE II B
2040 84TH AVENUE SE
MERCER ISLAND, WA 98040



#1634
5 JANUARY 2016

PROJECT
INFORMATION

T1-IIB

PROPERTY & LAND USE INFORMATION

LOCATION: LUTHER BURBANK PARK
2040 84TH AVENUE
PROPERTY OWNER: CITY OF MERCER ISLAND
LEGAL: 6L 6 1566 THE 530 FT DEEPED TO 6G
FOR RD ANDER AND FILE NO 1042120
ASIN: 625-4096014
ZONING: S-2
PARCEL SIZE: 995,102 SF (22.86 ACRES)

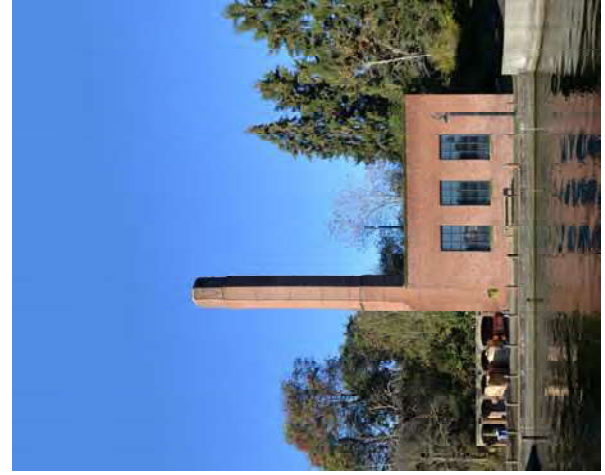
LAND USE INFORMATION

M 02.000
USES PERMITTED IN SINGLE-FAMILY ZONE R-15
A6 - PUBLIC PARKS PERMITTED
A - ACCESS TO LOCAL AND/OR ARTERIAL THOROUGHFARES
B - OUTDOOR LIGHTING SHALL BE LOCATED TO MINIMIZE GLARE
UPON ADJACENT PROPERTY AND STREETS.
C. MAJOR STRUCTURES, BALLFIELDS AND SPORT COURTS SHALL
BE LOCATED TO THE REAR OF THE PROPERTY.
D. IF A PERMIT IS REQUIRED FOR A PROPOSED IMPROVEMENT,
WITH THESE CONDITIONS SHALL BE FILED WITH THE CITY
DEVELOPMENT SERVICES GROUP (DSG) FOR ITS APPROVAL.
CURRENT USE IS 'STORAGE ACCESSORY TO PARK'
M 07.110
SHORELINE MASTER PROGRAM
B1 - LEGAL NONCONFORMING USES & STRUCTURES MAY CONTINUE
C1 - SITE IS IN URBAN PARK ENVIRONMENT
GOVERNMENT SERVICES PUBLIC FACILITIES PARKS &
RECREATION DISTRICT
E1 - SHORELINE AND DEVELOPMENT STANDARDS LANDWARD OF OHM.
SETBACK FOR ALL STRUCTURES & PARKING: 25' FROM OHM
MAXIMUM IMPERVIOUS SURFACE COVERAGE: 50% BETWEEN 0' & 25' FROM OHM
ORDINARY HIGH WATER MARK IS 18'-6"



LOCATION PLAN
NO SCALE

- PHASE IIB PROJECT DESCRIPTION
- *NEW INTERIOR STAIRS WITH NEW ENTRY, CLASSROOM & (2) OFFICES
 - *NEW INTERIOR STAIRS & ENCLOSED PLANTWORK LIFT IN BOILER BUILDING
 - *NEW SECOND FLOOR ENTRY ON (PHILL WEST) SIDE OF BOILER BUILDING
 - *CONNECTING TO PHASE IIA ACCESSIBLE ROUTE TO TOP OF HILL
 - *REMODEL (E) CONCESSION AREA IN BATHROOM BUILDING



BUILDING CODE INFORMATION

APPLICABLE CODE: 2015 INTERNATIONAL BUILDING CODE W/
W/ WASHINGTON STATE AMENDMENTS
CONSTRUCTION TYPE: CURRENT STRUCTURE IS TYPE IIA, NON-SPRINKLED
NONCOMPATIBLE CONSTRUCTION
EXISTING FRAME: NO RATING REQUIRED
FLOOR STRUCTURE: NO RATING REQUIRED
ROOF STRUCTURE: NO RATING REQUIRED
OCCUPANCY TYPE: CURRENT OCCUPANCY IS S-1 STORAGE
CHAPTER 3
HEIGHTS & AREAS: 5-1 STORAGE & B BUSINESS
CHAPTER 5
EXISTING BUILDING HEIGHTS & AREAS
BOILER BUILDING: (1) STORY, 24' HIGH, 1600 SF
CONCESSIONS BUILDING: (1) STORY, 24' HIGH, 688 SF
ALLOWABLE HEIGHTS & AREAS
TYPE IIB CONSTRUCTION SPRINKLED, B15 OCCUPANCY:
(B) 1 STORIES, 65' HIGH, 32,000 SF PER STORY
OCCUPANT LOADS: CURRENT OCCUPANT LOAD (STORAGE): 1600 SF/800 = (6) OCCUPANTS
TABLE 1004.1.2
(1) EXIT REQUIRED
PROPOSED BOILER BUILDING OCCUPANT LOAD:
LEVEL 1 (STORAGE): 1600 SF/800 = (6) OCCUPANTS
LEVEL 2 (STORAGE): 1600 SF/800 = (6) OCCUPANTS
LEVEL 2 (OFFICE): 208 SF/100 = (2) OCCUPANTS
(1) EXIT REQUIRED
ACCESSIBILITY: NO ACCESSIBLE ROUTE TO THE BUILDING CURRENTLY EXISTS
CHAPTER 11, ANSI A117.1
BATHROOMS TO BE REMODELED FOR ACCESSIBILITY IN PHASE I.
FOR CHANGE OF USE (PHASE II), ACCESSIBLE ROUTE WILL BE PROVIDED
FROM TOP OF HILL TO ENTRANCES AT LEVELS 1 & 2 AND BATHROOMS.

DRAWING INDEX

- T-IIB PROJECT INFORMATION
- A-I-IIB SITE PLAN
- A2-I-IIB FIRST FLOOR PLAN
- A3-I-IIB SECOND FLOOR PLAN
- A3.2-I-IIB BUILDING SECTIONS
- A3.2.2-I-IIB STRUCTURAL PLAN





Phase 1 Chimney Modifications -
Remove 10 Feet & Reinforce Remaining
Chimney & Structure



Chimney Modifications Option
Not Selected - Remove 34 feet &
Reinforce Remaining Chimney & Structure

Luther Burbank Park Boiler Building Repair + Remodel Study

Prepared for:

Cardinal Architecture
1326 5th Avenue
#440
Seattle WA 98101

Prepared by:

Trish Drew
DCW Cost Management
500 Yale Avenue North
Suite 100
Seattle WA 98105
206-718-2840

Project Reference: 00001634.100

Luther Burbank Park Boiler Building Repair + Remodel Study

Contents

Overall Summary	3
Scope of Work	4
Basis of Estimate	5
Phase 1	6
Phase 2A	11
Phase 2B	15
Stack Option	20

Luther Burbank Park Boiler Building Repair + Remodel Study

Overall Summary

TOTAL

PH 1 Repair	254,051
PH 2A Pathways and Outdoor Classroom Deck	1,127,278
PH 2B Interior improvements and Second Floor Build out	681,656
TOTAL BUILDING CONSTRUCTION	2,062,985
RECOMMENDED BUDGET	2,062,985
Add Option 1: Alternative Chimney modifications	17,610

Luther Burbank Park Boiler Building Repair + Remodel Study

Scope of Work

Project Scope Description

The project consists of a preliminary design for the Luther Burbank Boiler Room building, and joined concessions/restroom facility. The project includes renovation and repair of the existing structure in Phase 1 including the removal of 10' of the smoke stack and reinforcement. Phase 2A consists of demolition of existing pathway to be replaced with new stairs, ramps, and new deck connected to the 2nd floor of the Boiler building. Phase 2B includes interior enhancements of the building, including new lift, new doors, concession room improvements, creation of second floor with connecting stairs, new floors, and thermal and moisture barrier enhancements to the walls and windows. An alternate Chimney Stack modification option is provided.

Project Design

Preliminary Plans dated December 16, 2016, and redline structural comments from SSF. Costs are based on elements from similar projects, local sub market, and directives from the design team.

Procurement

The costs provided herein are based on the assumption that the project will be delivered as design, bid, build. If CM GC deliver is considered, additional cost for pre-construction may be required.

Site Conditions and Constraints

It is expected that the work will be performed during regular working hours. The site is located near Lake Washington, but none of the labor or delivery of materials is expected to be provided water-side. If there are access constraints that prohibit land-side delivery, significant cost increases would be anticipated for water-side work or be provided at contractors expense.

Luther Burbank Park Boiler Building Repair + Remodel Study

Basis of Estimate

Assumptions and Clarifications

This estimate is based on the following assumptions and clarifications:

- 1 Hazardous materials abatement is anticipated.
- 2 The majority of work will be performed during regular business hours
- 3 **Excludes** soft costs, permits, and taxes
- 4 Site work is limited to work detailed in Phase IIA.

Luther Burbank Park Boiler Building Repair + Remodel Study

Phase 1 Summary

		%	\$/SF	TOTAL	
	Gross Area:		2,472 SF		
01	Foundations	6%	5.69	14,056	
03	Floor and Roof Structure	43%	43.72	108,077	
1	Shell	54%	56.00	138,440	
06	Interior Partitions	6%	6.17	15,256	
07	Interior Finishes	7%	6.68	16,515	
2	Interiors	13%	12.85	31,771	
10	Plumbing	7%	7.37	18,220	
11	HVAC	0%	0.40	1,000	
12	Electrical	0%	0.40	1,000	
13	Fire Protection	0%	0.00	0	
4	Mechanical & Electrical	8%	8.18	20,220	
BUILDING CONSTRUCTION		75%	77.03	190,430	
17	General Conditions	12.00%	9%	9.24	22,852
18	Contractor's Overhead & Profit or Fee	5.00%	4%	4.31	10,664
PLANNED CONSTRUCTION COST		88%	90.59	223,946	
19	Contingency for Development of Design	10.00%	9%	9.06	22,395
CONSTRUCTION COST BEFORE ESCALATION		97%	99.65	246,341	
20	Escalation to Start Date (Mar 2018)	3.13%	3%	3.12	7,710
RECOMMENDED BUDGET		100%	102.77	254,051	
1			2	4	

Luther Burbank Park Boiler Building Repair + Remodel Study

Phase 1

	Quantity	Unit	Rate	Total
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1 Shell

01 Foundations

Expose area for foundation drain- 2.5'	271	LF	6.70	1,816
Place footing drain, drain sock, connect, bedding / cover	271	LF	18.50	5,014
Regrade slope	161	CY	45.00	7,227

14,056

03 Floor and Roof Structure

Demolition

Temp area protection	1	LS	1,000.00	1,000
Sawcut and core drill for new plumbing locations	50	LF	8.00	400
Demolition to restroom walls, doors and fixtures	310	SF	8.00	2,480
Demolition to framed walls at concession	66	SF	5.50	363
Demolition to parapet cap	160	LF	3.30	528
Demolition to existing roof to structure	1,584	SF	6.50	10,296

Build Back

Repair Slab at areas where plumbing was removed	310	SF	4.00	1,240
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16,307

04 External Cladding

Clean and repaint steel window ledgers	4	LOC	400.00	1,600
Brick tie-backs	311	LOC	55.00	17,078

Chimney Modifications

Sheet metal chimney cap	1	EA	2,800.00	2,800
Remove top 10' of stack	10	LF	550.00	5,500
Install reinforced concrete shell	10	LF	380.00	3,800
Install new reinforced concrete slab (roof level)	61	SF	70.00	4,270
10'x12" Concrete Beam	8	LF	210.00	1,680
Drill and install epoxy reinforcing bar to € beams	1	LS	3,000.00	3,000
Remove fire brick from stack to 35'	385	SF	16.00	6,160

45,888

Luther Burbank Park Boiler Building Repair + Remodel Study

Phase 1

	Quantity	Unit	Rate	Total
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05 Roofing and Waterproofing

Install new Built-up roof system- Sloped to drain	1,584	SF	22.00	34,848
Install new parapet cap (pinned)	160	LF	26.25	4,200
Sealants to roof drains and stacks	1	LS	2,500.00	2,500
Dampproofing foundation	516	SF	8.40	4,334
				45,882

2 Interiors

06 Interior Partitions

Metal stud and Concrete backer bd partitions -shaft walls	224	SF	12.50	2,800
Metal stud and gyp partitions w/cladding- Entry	184	SF	10.90	2,006
Reinforced concrete infill walls at concessions	66	SF	55.00	3,630
Gyp ceiling- Restroom	310	SF	12.00	3,720
Door, frame and hardware	2	EA	1,550.00	3,100
				15,256

07 Interior Finishes

Toilet Partitions- Std.	1	EA	1,280.00	1,280
Toilet Partitions- ADA	2	EA	1,550.00	3,100
Urinal Screen	1	EA	800.00	800
Accessories	1	LS	5,500.00	5,500
Mirrors	28	SF	90.00	2,520
Vanity Tops	8	LF	120.00	960
Nudo panels- Restroom Walls	224	SF	1.50	336
Prep and paint-ceiling	1	LS	1,200.00	1,200
Seal Floors Restroom	117	SF	7.00	819
				16,515

4 Mechanical & Electrical

10 Plumbing

Relocation of Sanitary Connection	8	EA	1,200.00	9,600
Toilet	3	EA	1,200.00	3,600

Luther Burbank Park Boiler Building Repair + Remodel Study

Phase 1		Quantity	Unit	Rate	Total
Urinal		1	EA	1,100.00	1,100
Sink and faucets		4	EA	980.00	3,920
					18,220
11 HVAC					
Minor adjustments		1	LS	1,000.00	1,000
					1,000
12 Electrical					
Electrical adjustments		1	LS	1,000.00	1,000
					1,000
13 Fire Sprinklers					
Fire sprinklers					<i>N/C</i>

Luther Burbank Park Boiler Building Repair + Remodel Study

Phase 2A Area

Areas

Net Site Areas

Site Demolition	1,659
Pedestrian Paving and Hardscape	4,111
Landscaping and Softscape	3,526
Other Features	1,634

Net Site Area	10,930
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TOTAL SITE AREA	10,930
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Control Quantities

Ratio to Site

Pedestrian Paving and Hardscape	4,111 SF	0.376
Concrete Pathways and Ramps	2,181 SF	
Concrete Sidewalk	226 SF	
Asphalt Pathway	532 SF	
Boardwalk	908 SF	
Steps	264 SF	
Landscaping and Softscape	3,526 SF	0.323
Other Features	1,634 SF	0.149
Classroom Deck, cedar	560 SF	
Plaza and Headwall Repair	1,074 SF	
Built Areas	0 SF	-

Luther Burbank Park Boiler Building Repair + Remodel Study

Phase 2A Summary

		%	\$/SF	TOTAL	
		Gross Area:		10,930 SF	
14	Site Preparation & Demolition	19%	19.73	215,658	
15	Site Paving, Structure & Landscaping	42%	43.54	475,890	
16	Site Utilities	14%	14.04	153,432	
6	Site Construction	75%	77.31	844,979	
SITE CONSTRUCTION		75%	77.31	844,979	
17	General Conditions	12.00%	9%	9.28	101,398
18	Contractor's Overhead & Profit or Fee	5.00%	4%	4.33	47,319
PLANNED SITE CONSTRUCTION COST		88%	90.91	993,696	
19	Contingency for Development of Design	10.00%	9%	9.09	99,370
CONSTRUCTION COST BEFORE ESCALATION		97%	100.01	1,093,065	
20	Escalation to Start Date (Mar 2018)	3.13%	3%	3.13	34,213
RECOMMENDED BUDGET		100%	103.14	1,127,278	



Luther Burbank Park Boiler Building Repair + Remodel Study

Phase 2A Detail

Item Description	Quantity	Unit	Rate	Total
6 Site Construction				
14 Site Preparation & Demolition	10,930	SF	19.73	215,658
Construction entrances, wheel wash	1	EA	5,500.00	5,500
Construction fencing and maintenance	500	LF	10.00	5,000
Tree protection, allow	1	LS	1,200.00	1,200
Site signage and pedestrian protection	1	LS	4,000.00	4,000
Allowance for Erosion control-dewatering	10,930	SF	1.60	17,488
Demolition to site asphalt	1,659	SF	3.22	5,342
Demolition of subsurface elements	1	ALW	80,000.00	80,000
Clear and grub	10,930	SF	0.55	6,012
Site excavation and haul	152	CY	22.00	3,350
Shoring and tie backs as required	1	LS	30,000.00	30,000
Structural fill- granular	332	CY	45.00	14,940
Backfill	292	CY	8.00	2,336
Aggregates- general purpose	76	CY	40.00	3,045
Footing drainage and connections	486	LF	26.00	12,636
Final Grading	10,930	SF	0.44	4,809
Survey	1	LS	20,000.00	20,000
15 Site Paving, Structure & Landscaping	10,930	SF	43.54	475,890
Pedestrian Paving				
Concrete Pathways and Ramps	2,181	SF	10.50	22,901
6" compacted base course	57	TN	38.00	2,149
Concrete Sidewalk	226	SF	10.50	2,373
6" compacted base course	6	TN	38.00	223
Curb	74	LF	22.50	1,665
Asphalt Pathway	532	SF	5.25	2,793
6" compacted base course	14	TN	38.00	524
Boardwalk	908	SF	15.00	13,620
Concrete footings, assumed 6' spacing	17	CY	250.00	4,222
Concrete structural walls	12	CY	250.00	2,963
Reinforcement	1,351	LB	1.19	1,608
Timber substructure	253	LF	38.00	9,627
Steps	264	SF	55.00	14,520
Handrails - timber	32	LF	125.00	4,000
Handrails - stainless steel	697	LF	280.00	195,160

Luther Burbank Park Boiler Building Repair + Remodel Study

Phase 2A Detail

Item Description	Quantity	Unit	Rate	Total
Site features				
Classroom Deck, cedar	560	SF	88.00	49,280
Existing substructure, prep	560	SF	1.50	840
Plaza and Headwall repair - allow	1	LS	10,203.00	10,203
Standard bench	4	EA	2,500.00	10,000
Trash receptacles	8	EA	1,100.00	8,800
Bollards - path lighting	33	EA	1,550.00	51,460
Landscape				
Landscape restoration	3,250	SF		
Top soil, pit planting	22	CY	46.00	1,021
Mulch, 3" deep - assumed	33	CY	59.00	1,926
Trees, allow	20	EA	450.00	9,000
Irrigation including controllers and meters	3,250	SF	2.00	6,500
Native planting restoration	3,526	SF	6.50	22,919
16 Site Utilities	10,930	SF	14.04	153,432
Exterior Lighting, wiring and conduit				
Trenching and conduit, site electrical	664	LF	88.00	58,432
Site lighting	1	LS	95,000.00	95,000
				<i>NIC</i>

Luther Burbank Park Boiler Building Repair + Remodel Study

Phase 2B Areas & Control Quantities

SF

SF

Areas

Enclosed Areas

Level 1	1,583
Level 2	911

TOTAL GROSS FLOOR AREA	2,494
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Luther Burbank Park Boiler Building Repair + Remodel Study

Phase 2B Summary

		%	\$/SF	TOTAL	
		Gross Area:	2,494 SF		
01	Foundations	3%	7.02	17,501	
02	Vertical Structure	2%	6.70	16,709	
03	Floor and Roof Structure	18%	50.23	125,270	
04	External Cladding	8%	23.10	57,613	
05	Roofing and Waterproofing	0%	0.00	0	
1	Shell	32%	87.05	217,092	
06	Interior Partitions	9%	23.76	59,260	
07	Interior Finishes	3%	7.95	19,819	
2	Interiors	12%	31.71	79,079	
08	Equipment and Specialties	4%	9.94	24,800	
09	Vertical Transportation	7%	18.74	46,750	
3	Equipment & Vertical Transportation	10%	28.69	71,550	
10	Plumbing	1%	1.84	4,600	
11	HVAC	4%	9.66	24,092	
12	Electrical	15%	40.13	100,074	
13	Fire Protection	2%	5.80	14,465	
4	Mechanical & Electrical	21%	57.43	143,231	
BUILDING CONSTRUCTION		75%	204.87	510,952	
17	General Conditions	12.00%	9%	24.58	61,314
18	Contractor's Overhead & Profit or Fee	5.00%	4%	11.47	28,613
PLANNED CONSTRUCTION COST		88%	240.93	600,880	
19	Contingency for Development of Design	10.00%	9%	24.09	60,088
CONSTRUCTION COST BEFORE ESCALATION		97%	265.02	660,967	
20	Escalation to Start Date (Mar 2018)	3.13%	3%	8.30	20,688
RECOMMENDED BUDGET		100%	273.32	681,656	

Luther Burbank Park Boiler Building Repair + Remodel Study

Phase 2B

	Quantity	Unit	Rate	Total
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01 Foundations

Demolition to 3" concrete slab inside bldg footprint	1,583	SF	3.65	5,778
Demolition to existing machine bases-Allow	1	LS	6,500.00	6,500
Building Excavation w/ over excavation and haul	59	CY	28.00	1,642
Base aggregates- 4" depth	20	CY	40.00	781
Lift pit	1	LS	2,800.00	2,800

17,501

02 Vertical Structure

Waterproofing, incl (E) 2nd floor	1,212	SF	9.00	10,909
Infill door opening - steel framing	75	SF	45.00	3,375
8" HSS Structural columns	0.3	TN	6,500.00	2,236
Lift Shaft			<i>See Int. Partitions</i>	
Fireproofing	0.3	TNs	550.00	189

16,709

03 Floor and Roof Structure

4" Reinforced slab on grade, w/VB	1,583	SF	10.25	16,226
Structural steel framing Vert and Horz- Lvl 2	4.4	TN	7,000.00	30,800
3" 20 g Type W composite decking	911	SF	8.00	7,288
3" Concrete topping slab	8	CY	450.00	3,796
Reinforcing	3,741	LB	0.81	3,030
Fireproofing	4.4	TN	550.00	2,420

125,270

04 External Cladding

Existing Brick Veneer - reinstall	75	SF	15.50	1,163
TB windows at north elevation	3	EA	1,550.00	4,650
Hollow metal exterior doors- single	1	EA	1,100.00	1,100
Hollow metal exterior doors- single	1	EA	2,200.00	2,200
Glazed entry doors- single	1	EA	4,500.00	4,500

DCW Cost Management

Coiling door - concessions	1	EA	18,500.00	18,500
Roll up doors- storage access	1	EA	25,500.00	25,500
				<hr/>
				57,613

05 Roofing and Waterproofing

No Work				<i>NIC</i>
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06 Interior Partitions

Standard partitions	619	SF	10.50	6,502
Std insulated ext walls	1,137	SF	9.60	10,916
Lift partition	146	SF	12.20	1,784
Partial walls - concessions	40	SF	8.80	352
Railings at 2nd floor	25	LF	102.00	2,550
Interior Glazing	60	SF	72.00	4,320

Floors

Insulated composite deck	911	SF	18.55	16,899
Polished concrete infill	911	SF	10.25	9,338

Doors, frames and hardware

Wood Doors- Single	4	EA	1,650.00	6,600
				<hr/>
				59,260

07 Interior Finishes**Floors**

Sealed concrete	1,583	SF	1.78	2,818
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Walls

Painted walls	3,793	SF	1.36	5,158
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Ceilings

Gyp ceiling- painted	1,822	SF	6.50	11,843
				<hr/>
				19,819

08 Equipment and Specialties**Signage and display**

Building signage	1	LS	2,300.00	2,300
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Casework and fit outs

Concessions counter top	10	LF	250.00	2,500
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DCW Cost Management

Classroom Casework and shelving- general	20	LF	400.00	8,000
Window treatments	1	LS	7,200.00	7,200
Fire extinguisher cabinets	4	EA	450.00	1,800
Entrance mats and frames	100	SF	30.00	3,000
Moveable furnishing by owner				NIC

24,800

09 Vertical Transportation

Gravatanta Genesis Shaftway Lift	1	EA	25,000.00	25,000
Stair and rail- Painted Steel	1	FLT	21,750.00	21,750

46,750

10 Plumbing

Sanitary fixtures- low flow connections and piping

Concessions sink	1	EA	2,000.00	2,000
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Sanitary waste, vent and service piping

Cafe equipment connections	1	EA	2,600.00	2,600
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4,600

11 HVAC

Heat Generation and cooling

Baseboard Heat and controls	2,494	SF	9.66	24,092
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24,092

12 Electrical

Primary Power

Existing power is sufficient				NIC
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Lighting and Branch wiring

Lighting fixtures including conduit and wire	2,494	SF	14.00	34,916
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Lighting and power specialties

Lighting controls including occupancy sensors	2,494	SF	6.50	16,211
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Telephone and communications systems

Telephone and data	2,494	SF	2.50	6,235
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Alarm and security systems

Fire alarm control and annunciator panels	1	LS	30,000.00	30,000
Fire alarm terminal cabinets	2	EA	1,550.00	3,100
Fire alarm devices including conduit and wire	7	EA	550.00	3,919

User convenience power

Receptacles including conduit and wire	7	EA	420.00	2,993
Wiremold including devices	150	LF	18.00	2,700

100,074

13 Fire Protection

Wet pipe system	2,494	SF	5.80	14,465
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14,465

Luther Burbank Park Boiler Building Repair + Remodel Study

Stack Option

Item Description	Quantity	Unit	Rate	Total
Add Option 1: Alternative Chimney modifications				
Cost for modification included in base costs	1	LS	(27,210.00)	(27,210)
Sheet metal chimney cap	1	EA	2,800.00	2,800
Remove top 34' of stack	34	LF	550.00	18,700
Install reinforced concrete shell	10	LF	380.00	3,800
Install new reinforced concrete slab (roof level)	61	SF	70.00	4,270
10'x12" Concrete Beam	8	LF	210.00	1,680
Drill and install epoxy reinforcing bar to € beams	1	LS	3,000.00	3,000
Remove fire brick from stack to 35'	385	SF	16.00	6,160
Alternate Cost Before Markups				13,200
17 General Conditions	12.00%			1,584
18 Contractor's Overhead & Profit or Fee	5.00%			739
19 Contingency for Development of Design	10.00%			1,552
20 Escalation to Start Date (Mar 2018)	3.13%			534
				17,610



LUTHER BURBANK PARK - BOILER BUILDING
PHASE 1 REPAIR PROJECT BUDGET

8 February 2017

Building Construction Cost

Construction Cost	\$223,946.00
Owner Construction Contingency (10% of Construction Budget)	\$22,394.60
Escalation to Construction Start Date of March 2018	\$7,710.46
Building Construction Cost Subtotal	\$254,051.06

Soft Costs

Architect basic fees (15% of construction cost)	\$38,107.66
Structural Engineer	
Mechanical Engineer	
Additoinal Services Consultants	
Civil Engineer	\$5,500.00
Waterproofing Consultant	\$5,500.00
Construction cost sales tax (9.5% of construction cost)	\$24,134.85
Master Use Permit & Construction Permit Fees (4% of Construction Costs)	\$10,162.04
Construction testing (2.5% of Construction Costs)	\$6,351.28
Reimbursable items	
Document Reproduction	\$500.00

Items not in Construction Contract

CoMI Project Management (12 weeks @ 10 hrs / week @ \$100/ hr)	\$12,000.00
Environmental Materials Consulting During Project	\$2,500.00
Construction scope by owner	\$0.00
Accommodations during construction (current mortgage or rent)	\$0.00
Furniture, Fixtures & Equipment	\$0.00

Total Project Cost **\$358,806.89**



**LUTHER BURBANK PARK - BOILER BUILDING
PHASE 2A REPAIR PROJECT BUDGET**

8 February 2017

Building Construction Cost

Construction Cost	\$993,696.00
Owner Construction Contingency (10% of Construction Budget)	\$99,369.60
Escalation to Construction Start Date of March 2018	\$34,212.95
Building Construction Cost Subtotal	\$1,127,278.55

Soft Costs

Architect basic fees (15% of construction cost)	\$169,091.78
Structural Engineer	
Additoinal Services Consultants	
Civil Engineer (5% of construction cost)	\$56,363.93
Landscape Architect (5% of construction cost)	\$56,363.93
Waterproofing Consultant	\$5,500.00
Construction cost sales tax (9.5% of construction cost)	\$107,091.46
Master Use Permit & Construction Permit Fees (4% of Construction Costs)	\$45,091.14
Construction testing (2.5% of Construction Costs)	\$28,181.96
Geotechnical Consultant	\$28,181.96
Reimbursable items	
Document Reproduction	\$500.00

Items not in Construction Contract

CoMI Project Management (20 weeks @ 10 hrs / week @ \$100/ hr)	\$20,000.00
Environmental Materials Consulting During Project	\$2,500.00
Construction scope by owner	\$0.00
Accommodations during construction (current mortgage or rent)	\$0.00
Furniture, Fixtures & Equipment	\$50,000.00

Total Project Cost **\$1,696,144.72**



**LUTHER BURBANK PARK - BOILER BUILDING
PHASE 2B REPAIR PROJECT BUDGET**

8 February 2017

Building Construction Cost

Construction Cost	\$600,880.00
Owner Construction Contingency (10% of Construction Budget)	\$60,088.00
Escalation to Construction Start Date of March 2018	\$20,688.30
Building Construction Cost Subtotal	\$681,656.30

Soft Costs

Architect basic fees (15% of construction cost)	\$102,248.44
Structural Engineer	
Mechanical Engineer	
Electrical Engineer	
Additoinal Services Consultants	
Waterproofing Consultant	\$5,500.00
Construction cost sales tax (9.5% of construction cost)	\$64,757.35
Master Use Permit & Construction Permit Fees (4% of Construction Costs)	\$27,266.25
Construction testing (2.5% of Construction Costs)	\$17,041.41
Reimbursable items	
Document Reproduction	\$500.00

Items not in Construction Contract

CoMI Project Management (20 weeks @ 10 hrs / week @ \$100/ hr)	\$20,000.00
Environmental Materials Consulting During Project	\$2,500.00
Construction scope by owner	\$0.00
Accommodations during construction (current mortgage or rent)	\$0.00
Furniture, Fixtures & Equipment	\$75,000.00

Total Project Cost **\$996,469.75**



Luther Burbank Park Boiler Building Feasibility Study
Kickoff Meeting Notes

Date: Thursday, 3 November 2016
Location: Aljoja House, Mercer Island WA
Attending: Bruce Fletcher, Parks & Recreation Director
Paul West, Park Operations Superintendent
Marcy Olson, Facility Project Manager
Diane Mortenson, Recreation Superintendent
Alex Harvey, Parks Maintenance
Myra Lupton, Community Representative
Jim Cary, Cardinal Architecture
Jesse Belknap, Cardinal Architecture

Purpose: Kickoff Meeting

-
- 1) Introductions
 - 2) Project Overview
 - 2006 Luther Burbank Park Master Plan identifies the boiler building and adjacent docks as the location for human-powered boating activities.
 - Feasibility Study to determine the condition and usability of the 1928 boiler building, and create a plan for implementing the Master Plan uses.
 - Will review program, options and cost to provide information for decision-making.
 - Boiler building is a nice, attractive building, and hope is that building can be repurposed, with necessary improvements, to meet needs of human-powered boating activities.
 - Feasibility study to be complete by the end of January 2017.
 - 3) Scope of Study
 - The Master Plan will direct the study as the team prepares development proposals.
 - The study will develop proposals to a conceptual level, and will prepare construction cost and project cost estimates for fundraising.
 - 4) Process & Timing
 - Work will be performed by Cardinal Architecture (prime consultant, architect), Swenson Say Faget (structural engineer) and DCW Cost Management (cost estimating).
 - Existing evaluation will take place next week.
 - Meeting with City of Mercer Island Building, Planning, and Fire officials to take place next week, to review land use, shoreline, building code, accessibility, and fire requirements.
 - Meeting with potential boating concessionaires during this week and the next to develop building program requirements.
 - Team will first analyze the boiler building, determine needs, consider program options, and evaluate costs.
 - If the building is suitable for development, then the team will prepare options for site and building development. If the building is not suitable for development, then the team will propose options for replacement.

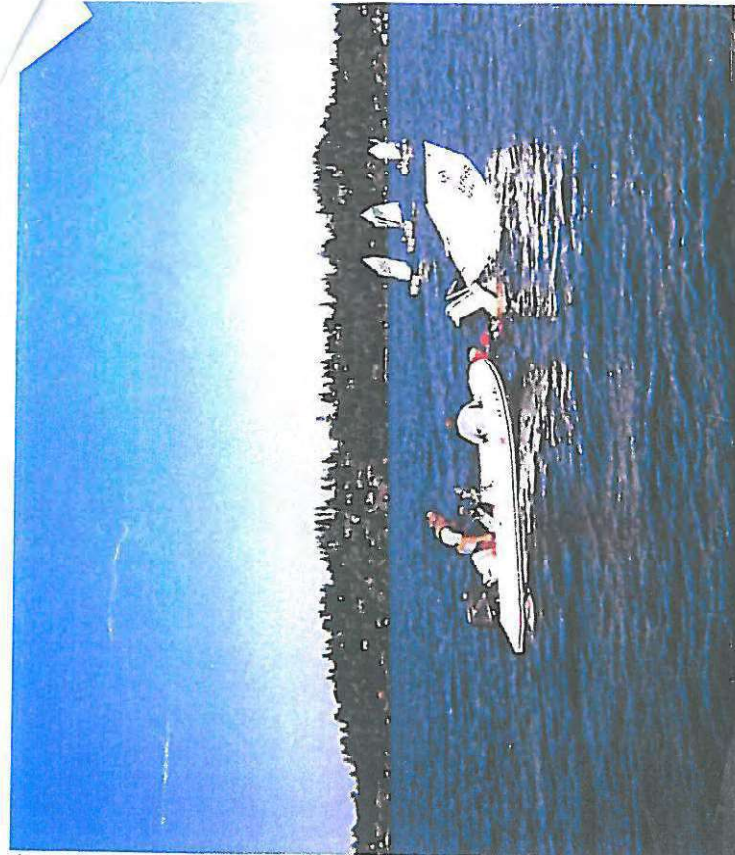
- The design team will prepare a final report to inform future fundraising for developing the boiler building area into a human-powered boating facility.
- 5) Goals & Priorities, Around the Table
- Bruce – beautiful, under-utilized structure into year-round park facility with concessions, storage, events, meeting rooms; follow the master plan; beautiful building just the way it is, improve for safety
 - Alex – usable cool building; too nice for storage, simple and open; weddings; event space; concerned about water running through the site
 - Diane – expand current successful boating program; kayaks and sailboats; add food and drinks; concerned about site accessibility; take advantage of natural classroom setting; tiny trees preschool program
 - Paul – building must stay; no potential to replace building there; \$5K per year to DNR just for shoreline use, would like to show return for investment
 - Myra – started children's sailing program with Homer; expand program to include long waiting lists; expand the handkerchief fleet
- 6) Additional Discussion
- Public and concessionaire interested in utilizing boiler building and protected boating area.
 - Kayaks, SUPs, Canoes, Sailboats, and Rowing all popular and interested in utilizing boiler building area.
 - Concern about the existing docks, too tall for most small boat use. Unlikely that docks can be expanded, but likely that existing dock space could be changed to be more effective for small boats. Possibly swap floating platforms for existing docks.
- 7) Action Items
- Paul will schedule subsequent meetings for this group for the first week of December and the first week of January.
 - Cardinal and design team to begin work later today, with site and building survey next Tuesday.

Meeting notes will be sent by Cardinal Architecture to Paul West, Parks & Rec, who will distribute to the project team.

Attached: 2008 Sailing Camp Photos shared by Myra Lupton



2008



Due in large part to the lobbying efforts of citizen activist Myra Lupton, the city of Mercer Island began offering a sailing camp for kids at Luther Burbank Park in 2008. Here in 2008, six boats in the "handkerchief fleet" catch the wind.

Mercer Island Reporter



Luther Burbank Park Boiler Building Feasibility Study
Kayak Academy Meeting Notes

Date: Thursday, 3 November 2016
Location: Boiler Building, Luther Burbank Park, Mercer Island WA
Attending: Barbara Gronseth, Kayak Academy
Paul West, Park Operations Superintendent
Jim Cary, Cardinal Architecture
Jesse Belknap, Cardinal Architecture

Purpose: Kayak Concessionaire Meeting

- 1) Great location for teaching kayaking, teach summer programs at Luther Burbank Park for 10 years.
- 2) Use the gravel beach to the north, and the best sheltered kayaking is to the north. Kayaks and swimmers are separated for safety. Do not use the docks as they are too tall and not the right conditions for kayak boarding and takeoff.
- 3) Parking is very important, have similar parking conditions at Lake Sammamish State Park.
- 4) Mercer Island Parks is also developing the South Parking Lot Boat Launch, which will have only a 200' walk from parking to a new gravel beach.
- 5) Would consider replacing finger docks with floating platforms.
- 6) Running current program at Lake Sammamish State Park, most equipment in containers which stay there all year, some equipment in open storage with locks.
- 7) Would like food concession as well, lots of traffic from beach, playground, walkers, boaters.
- 8) Boats typically stored on racks. Have made rolling racks that can be pushed outside during the day.
- 9) Constant boat usage would be great for KA, not just classes and lessons.
- 10) Have used a covered outdoor space, such as a tent, for setup and classes. Also prefer that their students get used to getting wet.
- 11) Would like to have 75-80 boats (kayaks and SUPs) on hand to make concessions most effective. Not just classes and lessons, but also rental as well.
- 12) Store boats, paddles, personal floatation devices.
- 13) Good relationship to Enatai Beach Park, east across the water beneath I-90 bridges.
- 14) Could promote use with Washington Water Trails and Lakes to Locks.

Meeting notes will be sent by Cardinal Architecture to Paul West, Parks & Rec, who will distribute to the project team.

Attached: none

Luther Burbank Park Boiler Building Feasibility Study
City of Mercer Island Pre App Meeting Notes

Date: Tuesday, 8 November 2016
Location: City Hall, Mercer Island WA
Attending: Holly Mercier, Permit Coordinator
Evan Maxim, Planning Manager
Will Piro, Planner
Don Cole, Building Official
Hershel Rostov, Fire Marshal
Ruji Ding, Senior Development Engineer
Paul West, Park Operations Superintendent
Jim Cary, Cardinal Architecture

Purpose: Pre App Meeting, 2048 84th Avenue Southeast



- 1) **Project Introduction** - Proposed project is a renovation to the 1928 Boiler Building located in Luther Burbank Park on the shore of Lake Washington. Current scope is a feasibility study to review the condition and safety of the existing structure and to prepare options for redeveloping the building to support the direction of the 2006 Luther Burbank Park Master Plan. The plan show that the boiler building will be upgraded to support human-powered boating. Initial project might include repairing existing toilet rooms, concessions, & storage area to make building safe and dry. Future project may include renovation of storage area to include classrooms, offices and additional toilet rooms.
- 2) **Land Use**
 - Luther Burbank Park is identified to be R-15 Residential 15,000 SF which allows for public park use.
 - Public Parks is addressed in 1902.010/A/6 which reads:
 6. *Public park subject to the following conditions:*
 - a. *Access to local and/or arterial thoroughfares shall be reasonably provided.*
 - b. *Outdoor lighting shall be located to minimize glare upon abutting property and streets.*
 - c. *Major structures, ballfields and sport courts shall be located at least 20 feet from any abutting property.*

d. If a permit is required for a proposed improvement, a plot, landscape and building plan showing compliance with these conditions shall be filed with the city development services group (DSG) for its approval.

- Future project may be reviewed under Shoreline Master Program. Future project may require a substantial development permit and/or SEPA review. Additional parking may also be required.
 - Ordinary High Water Mark is 18.6 feet.
 - Future project likely to be reviewed by Design Commission as a major capital improvement, as capital funds would be used for the construction project.
 - Boiler Building is not a landmark structure. There is no landmark review requirement for COMI, and no desire or need to designate the structure as a landmark.
 - Current use is defined as “storage accessory to park.”
 - The City’s shoreline master program and shoreline environmental designation for Luther Burbank park designates this stretch of shoreline for public access and active and passive public recreation. (MICC 19.07.110(C))
 - While not part of the current feasibility scope, Parks is reviewing renovations of the dock area to convert the tall, stationary docks with floating platforms.
 - Any work associated with bulkhead would be reviewed by State of Washington Fish & Wildlife.
 - Location is not specifically identified as wetlands, but there are wetlands nearby. Recommend wetland identification and analysis.
- 3) Building Code
- Current structure is approximately 2,300 SF.
 - Accessibility – building code requirement is that owner is required to spend 20% minimum of construction value on accessibility improvements. Priorities for accessibility include accessible path from parking to structure, accessible entry, and accessible toilet rooms.
 - Accessibility, per chapter 11 of the building code, will be reviewed and enforced from the parking lot to the structure. There are not trail or path allowances that deviate from chapter 11.
 - Location is identified as a landslide area on nwmaps.net. Location is also identified as a seismic hazard area.
 -
- 4) Fire Code
- Existing docks are grandfathered as is. Change of use or extensive renovations may trigger Fire Code 17.01.020 which increases the design load and requires standpipe service for docks for more than 5 vessels.
 - Existing building is grandfathered as is. Repairs to the existing building are not considered renovations. New or renovated commercial building is required to have sprinklers when greater than 5,000 SF. New or renovated commercial is required to have a fire alarm when greater than 3,000 SF. It is unlikely that the renovated boiler building would exceed these thresholds. It is likely that the City of Mercer Island will desire or require both sprinklers and fire alarm for the building renovation, regardless.
 - Access road for fire truck access should be provided all the way to building, to fire hydrant, and to fire department supplemental pump connection. There are many requirements for the road and turnaround, most of which are impractical due to the boiler building’s shoreline and park location. The addition of sprinklers and fire alarm can be used to negotiate fire truck access requirements. A fire truck turnaround may be provided at the top of the hill. Ultimately, the project must have a safe building condition and an appropriate level of fire department access.
 - Fire sprinklers require a 4” minimum service.
- 5) Utilities

- Water main located north of building and stops at hydrant just north of structure. There is relatively good flow and pressure documented for existing water service.
 - Side sewer leaves building to east to vault, then is pumped up hill to meet sewer main in existing playground area above boiler building.
 - Electric power is buried service that connects to building in southwest corner.
 - Roof drainage and site drainage are piped directly to lake and exit above high water mark.
- 6) Permitting Path
- Permitting Path will be determined by scope of work. Repairs would be reviewed by the Building Department only. Change of Use to include classrooms and meeting rooms might trigger Shoreline Substantial Development Permit and SEPA review. Construction Permit would be required, and the addition of conditioned space would likely trigger requirements to meet accessibility, structural, and energy code requirements.
- 7) General Notes
- Boiler Building Value on King County website is \$0, which is standard for public structures. Actual value can be determined by contacting King County Assessor's Office. Soon, value will be determined by a \$/SF calculation. The building value is how some requirements are enforced during the permitting process, and a higher existing building value gives the building owner more flexibility.

Meeting notes will be sent by Cardinal Architecture to Paul West, Parks & Rec and to Holly Mercier, Permit Coordinator, who will distribute to the city review team.

Attached: none



Luther Burbank Park Boiler Building Feasibility Study
Sail Sand Point Meeting Notes

Date: 16 November 2016
Location: Boiler Building, Luther Burbank Park, Mercer Island WA
Attending: Nino Johnson, Sail Sand Point
Paul West, Park Operations Superintendent
Diane Mortenson, Recreation Superintendent
CJ Stanford, Recreation Supervisor
Jim Cary, Cardinal Architecture

Purpose: Concessionaire Meeting

-
- 1) Sail Sand Point operates classes from boiler building location every summer. Classes are very popular and are filled very quickly. Classes are for 8-14-year-olds, and are operated in a younger and older group. Taught in 8'-12' dinghies. Classes are taught outdoors, and students are outside most of the time.
 - 2) Equipment includes (6) sailing dinghies and a safety boat with a motor. There are (2) instructors per class.
 - 3) During summer lessons, the boiler building is used to store boats overnight and to store equipment. Currently the instructors motor down from Sand Point to Mercer Island every morning in the safety boat.
 - 4) Future needs include boat storage space for (12) dinghies & rigging (double what they have now), classroom space, equipment storage, secure indoor camper cubbies, and restrooms. Outside storage is ok, but would have to be secure. Storage for the safety boat would be best if secured inside a fence or on top of the dock. Year-round boat storage would be ideal as well.
 - 5) Equipment rental is appealing, but Nino said that rental works best with entry-level equipment like SUPs and kayaks. Easiest entry point.
 - 6) Classes are typically 1 group for a week. Sometimes it's (2) 1/2-days for younger students of full-days for older students.
 - 7) Possibility of storing the safety boat at the boat launch inside of a new fence.
 - 8) From Sail Sand Point perspective, current parking and drop-off were working.
 - 9) Nino to send Jim specifications on SSP's typical dinghy, so that Cardinal can include boat sizes in the floor plans.

Meeting notes will be distributed by Cardinal Architecture.

Attached: none

Luther Burbank Park Boiler Building Feasibility Study
Meeting Notes

Date: Thursday, 8 December 2016
Location: Aljoja House, Mercer Island WA
Attending: Bruce Fletcher, Parks & Recreation Director
Paul West, Park Operations Superintendent
Marcy Olson, Facility Project Manager
Diane Mortenson, Recreation Superintendent
Ken Brooks, Parks Manager
Alex Harvey, Parks Maintenance
Myra Lupton, Community Representative
Kate Lamperti, Community Representative
Jim Cary, Cardinal Architecture

Purpose: Progress Meeting

- 1) Introductions
- 2) Update – Since our 3 November 2016 Kickoff Meeting
 - Kayak Academy Meeting 3Nov16 – met with Barbara Gronseth to discuss KA’s interest & needs; great location; concern about parking & access; would love to operate classes and rent kayaks & SUPs; 75-80 craft storage to be sustainable rental location; use north gravel beach as launch; could use floating platforms but cannot use pier dock
 - Architect & Structural Engineer Review 8Nov16 – design team surveyed structure & site with help of Parks & Rec staff; recorded conditions for as-built documents; reviewed structural condition
 - City of Mercer Island Pre App Meeting 8Nov16 – very useful meeting; met with Planning Department, Building Official, Fire Marshal, & City Utilities to discuss project direction; repairs are encouraged; use changes from current concessions & storage would trigger substantial alterations requirements; substantial alterations requirements include accessibility, fire protection, building structural review & repair; and energy code compliance; substantial alterations would trigger additional review such as Shoreline Substantial Development permit review and State Environmental Policy Act review; biggest challenge for substantial alterations may be fire protection requirements and access
 - Sail Sand Point Meeting 16Nov16 – met with Nino Johnson to discuss SSP’s interest & needs; great location; currently teaches classes with (6) Opti sailboats; could expand to (12) sailboats; would bring in kayaks & SUPs for rental concessions (easier as entry level rentals); use floating platform as launch; could use more floating platforms but cannot use pier dock
- 3) Existing Drawings – Attached to these meeting notes are existing drawings pdf files. They represent the current building conditions and are documented in AutoCAD for future use.
- 4) Phase I Repair Drawings – Attached to these meeting notes are repair drawings which describe important projects to make the existing building more safe and make the building more functional.

They describe projects such as foundation drainage, existing wall repair, restroom improvements, brick masonry repair, and chimney changes. Performing these projects will not likely trigger the substantial alterations requirements, and will extend the useful life of the structure. The building is in need of repair and seismic improvements, but is also in good shape. The design team was asked to determine if the building was in good enough shape to consider continued use. The reasons for replacing the building may be based on the potential construction budget, not because the building is considered beyond repair.

- 5) Phase II Preliminary Building Program – Attached to these meeting notes is the preliminary building program document that collects and interprets the data from the meetings with Kayak Academy and Sail Sand Point. The program identifies the space needed or provided for various future uses and building functions.
- 6) Phase II Diagrams – Attached to these meeting notes are drawings that provide an initial planning version of how the Boiler Building might be used in the future. The diagrams show how a 2nd floor could be added to the large, tall Boiler Building room. Based on the review and discussion, Cardinal was asked to look at options where the second floor was not added, however the outdoor classroom on top of the existing toilet rooms could be part of a project. Paul noted that the second floor addition actually reduced storage capacity, after a stair and elevator are included. Cardinal will prepare additional versions to show function and potential cost of each.
- 7) Action Items
 - Next progress meeting is Thursday 5 January 2017.
 - Cardinal will work with the Structural Engineer and Cost Estimator to document repairs and design options, and apply costs to the options to present at the next progress meeting.

Meeting notes will be sent by Cardinal Architecture to Paul West, Parks & Rec, who will distribute to the project team.

Attached:

Existing Drawings – 8Dec16 - Boiler Building Study

Phase I Repair Drawings – 8Dec16- Boiler Building Study

Phase II Preliminary Building Program – 8Dec16 - Boiler Building Study

Phase II Diagrams – 8Dec16 - Boiler Building Study

Luther Burbank Park Boiler Building
Preliminary Phase II Building Program
8 December 2016



Use	count	capacity	NSF each	NSF Total	Notes
Kayaks	1		200	800	(75-80) craft, (24) sea kayaks 16' max length x 24" wide, (66) SUPs 12' max length x 36" wide, rack storage
Kayak & SUP Storage	1		200	800	
Kayak General Storage	1		50	50	50 paddles, PFDs
Kayak Student Cubbies	1		50	50	50 small lockers for student belongings during classes
Outside Teaching/Gathering Space	1	12			0 outside
Gravel Launch	1				0 gravel launch preferred, floating platform at docks also acceptable
Kayaks Subtotal				900 NSF	
Sailing	1		200	400	(6) Opti Sailboats, 7'-8" long x 3'-6" wide, rack storage, (6) per rack, could expand to (12) boats for more classes
Sailboat Storage	1		200	400	
Sailboat General Storage	1		50	50	50 PFDs
Sailboat Student Cubbies	1		50	50	50 small lockers for student belongings during classes
Outside Teaching/Gathering Space	1	16			0 outside
Sailboat Launch	1				0 floating platform at docks
Sailboat Safety Boat	1				0 lifted & stored on docks
Sailing Subtotal				500 NSF	
Shared					
Entry	1		100	100	
Meeting Room or Classroom	1		400	400	20 students x 20 SF ea = 400 SF
Office	2		100	200	
Concession Room & Snack Sales	1		150	150	150 existing concessions & snack space
Existing Toilet Rooms	2		120	240	240 existing toilet rooms
Elevator - (2) level	2		100	200	
Stairs - (2) level	2		200	400	
Shared Subtotal				1,690 NSF	
Building Program Total				3,090 NSF	
Building Program Total with GSF Multiplier				3,863 GSF (+25%)	
Boiler Building Existing Area				2,104	GSF
Boiler Building Future Second Floor				960	GSF
Boiler Building Future Total Building Area				3,064	GSF

PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

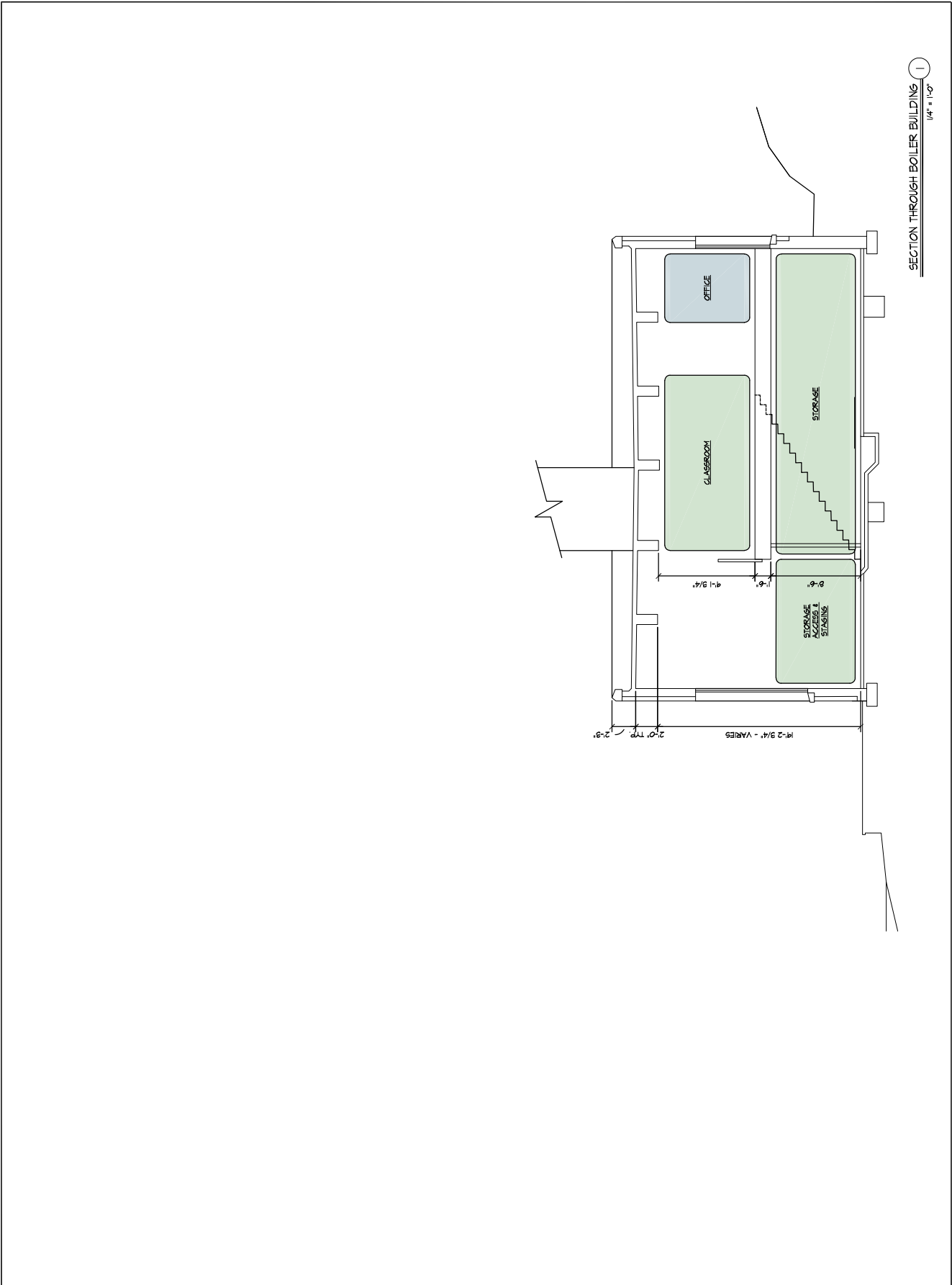
LUTHER BURBANK PARK
BOILER BUILDING STUDY
PHASE II DIAGRAMS
2040 84TH AVENUE SE
MERCER ISLAND, WA 98040

CARDINAL
ARCHITECTURE PC
1050 17th Avenue SE, Suite 440
Burien, WA 98148
360.835.8100
360.835.8101

#1634
8 DECEMBER 2016

BUILDING
SECTIONS

A3.1





Luther Burbank Park Boiler Building Feasibility Study
Meeting Notes

Date: Thursday, 5 January 2017
Location: Aljoia House, Mercer Island WA
Attending: Bruce Fletcher, Parks & Recreation Director
Paul West, Park Operations Superintendent
Marcy Olson, Facility Project Manager
Diane Mortenson, Recreation Superintendent
Ken Brooks, Parks Manager
Myra Lupton, Community Representative
Jim Cary, Cardinal Architecture
Trish Drew, DCW Cost Management

Purpose: Progress Meeting

1) Introductions

2) Jim and Trish described the proposed projects identified as Phase I Repair, Phase IIA Site Access and Outdoor Deck, Phase IIB New Classroom & Offices. Trish provided initial cost analysis for the three phases. Her construction budgets are meant to be comprehensive and conservative, and are not meant to be a competitive construction cost bids. The numbers also reflect construction cost only. Construction costs are typically only 65% to 70% of total project costs. Total project cost can be estimated by multiplying the construction cost x 1.54 or 1.43. The project documentation and the cost analysis are attached to these meeting notes. Comments include:

- Fire sprinklers might be included in Phase 1 Repair. Jim will call the fire marshal to confirm. Fire sprinklers will likely be a dry system, as there is currently no heat in the facility to prevent freezing, and only a portion of the facility is expected to be heated.
- Adding the exterior deck may trigger substantial alterations, and the scope may be pushed to Phase IIB. Jim will call the building official to confirm.
- It may be desired to heat the bathrooms, so that the bathrooms and the facility can be used year-round. There were also comments that most use would be planned for spring, summer and fall. The restrooms are currently heated by passive air flow, and they are open to the elements.
- It may be useful to add a sink and hot water to the classroom area, so that meetings can make coffee. Hot water can be provided with an electric instant hot water heater.
- There is a concern that there is not enough parking to accommodate the additional use at the Boiler Building. Jim will review the Master Plan to determine if this was anticipated. The P&R staff were certain that no additional parking was desired.
- Freestanding tents or sunshades may be used on the new outdoor classroom deck.

3) Next steps include:

- Parks & Rec staff meeting with the Friends of Luther Burbank Park to introduce the research and project planning to date.
- After the Friends meeting, Parks & Rec staff and Cardinal meeting with Mercer Island City Council Parks Subcommittee to introduce the research and project planning to date.

Meeting notes will be sent by Cardinal Architecture to Paul West, Parks & Rec, who will distribute to the project team.

Attached:

Phase I Repair Drawings – 5 Jan17

Phase IIA Site Access & Outdoor Deck Drawings - 5Jan17

Phase IIB New Classroom & Offices Drawings - 5Jan17

Preliminary Cost Report Concept - 4Jan17



April 25, 2018

**Washington State Historical Society
Heritage Capital Program Advisory Panel
1911 Pacific Ave
Tacoma, WA 98402**

Greetings:

We are writing on behalf of the Mercer Island Historical Society to express our support of the City of Mercer Island's application for Capital Grant funding for renovation of the steam plant/boiler building at Luther Burbank Park on Mercer Island.

The building was constructed in 1928 as part of the Boys Parental School campus, a facility built by the Seattle School District to house "troubled" and truant boys. In 1931 the name of the facility was changed to Luther Burbank School, to honor the American pioneer in agricultural sciences. The facility was more than a school – it was a working farm, with boys attending classes in the morning, and working the farm in the afternoons – gardening, feeding the animals, picking apples, milking cows. The steam plant or boiler building – with its tall "smokestack" chimney - served as the central heating plant for the dormitories, school buildings and other structures.

Luther Burbank School closed in 1956. The entire Luther Burbank property was purchased by King County in 1968 and was operated as a county park until 2002, when it was acquired by the City of Mercer Island.

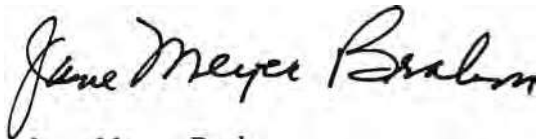
Structures still remaining from the old days of the Boys Parental School include a 1929 brick dormitory which houses Mercer Island Youth & Family Services and Parks and Recreation Department offices, the foundation of a dairy barn, and the steam plant/boiler building.

The steam plant/boiler building is ideal for adaptive re-use. About 20 years ago, it was the site of a large temporary art exhibit. In 2006 the Luther Burbank Master Plan identified the building as a boating facility, and today it serves as a boathouse for kayaks, canoes and small sailboats. There are no doubt other possibilities for its use.

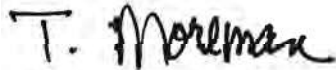
The steam plant/boiler building has been a part of Mercer Island for nearly a century. People walking along the east shore of the park, and boaters who use the nearby Luther Burbank docks take note of the steam plant/boiler building. With its red brick and its tall smokestack, it is a distinctive landmark on the horizon as viewed from the East Channel Bridge and Bellevue. It is an important remnant of the Luther Burbank School and of Mercer Island's past.

We believe the steam plant/boiler building should be repaired and renovated. We strongly encourage the Washington State Historical Society to grant the City of Mercer Island its request for funding.

Sincerely,

A handwritten signature in black ink that reads "Jane Meyer Brahm". The signature is written in a cursive style with a large initial "J".

Jane Meyer Brahm

A handwritten signature in black ink that reads "T. Moreman". The signature is written in a cursive style with a large initial "T".

Terry Moreman,
Co-presidents

Friends of Luther Burbank Park

PO Box 552
Mercer Island, WA 98040

April 24, 2018

Washington State Historical Society
Heritage Capital Program Advisory Panel
1911 Pacific Ave
Tacoma, WA 98402

Dear Advisory Panel members:

King County gifted Luther Burbank Park to the City of Mercer Island in 2002 due to budget woes. Our island's glorious waterfront park had fallen into disrepair. Over the past 15 years island citizens have supported maintenance levies but larger capital restoration projects of historic buildings have not been funded. In fact, most habitat restoration projects have been accomplished because park department staff secures grants needed to augment levy funds. Friends of Luther Burbank Park now urges your approval of this capital grant to protect our iconic and historic 1928 brick Boiler Building in critical need of repair.

The Friends of Luther Burbank Park board members, former mayor, Elliot Newman and Citizen of the Year and sailing enthusiast, Myra Lupton were invited in late 2016 to participate in the Parks Department's professional review of the building. Cardinal Architecture, a highly respected architectural firm warned that the structural stability of this historic building requires attention. And since this building is on land leased from the Washington State Department of Natural Resources we hope this escalates your desire to prioritize protection to this historic building.

Phase one identified the need to shorten the brick chimney which will be vulnerable in an earthquake. They reinforced park staff concerns about drainage problems on the west side of the building needing corrective action. And they reviewed the public restrooms – which are open in the summer months to the public. Currently they require constant park staff maintenance to function at a most basic level.

Since the approval of the Luther Burbank Park Master Plan in 2006 the facility has been cleared out for a storage area and utilized as a boat house for summer aquatic programs such as sailing, kayaking and paddle board summer camps. This has brought families and youth to the Boiler Building and enlivened this part of the waterfront park. It also increases risks to park users in the event of an earthquake.

The Friends celebrate the Heritage Capital Projects Program created in 1995 to provide capital funds that increase public access to historic preservation projects. The Boiler Building fits your mission. Since your capital grant could cover one third of the cost of the renovation needed in Phase One we urge funding this project as one of your committee's top priorities. Thank you!

Sincerely,



Sue Stewart, President
Friends of Luther Burbank Park



PLANNING SCHEDULE

Please email the City Manager & City Clerk when an agenda item is added, moved or removed.

Special Meetings and Study Sessions begin at 6:00 pm. Regular Meetings begin at 7:00 pm. Items are not listed in any particular order. Agenda items & meeting dates are subject to change.

MAY 15		DUE TO:	5/4 D/P	5/7 FN	5/7 CA	5/8 Clerk
ITEM TYPE TIME TOPIC				STAFF		SIGNER
STUDY SESSION (6:00-7:00 pm)						
60	2018 Biennial Citizen Satisfaction Survey Results			Julie Underwood		
SPECIAL BUSINESS (7:00 pm)						
10	Eagle Scout Recognition					
5	Safe Boating and Paddling Week Proclamation			Ed Holmes		
CONSENT CALENDAR						
--	Arts Council- 2017 Annual Report & 2018 Work Plan			Diane Mortenson		
--	Arts Council Town Center Public Art Banner Project - Artist Selection Panel Approval			Diane Mortenson		
--	SE 40th Street Corridor Improvements Bid Award			Clint Morris		
--	2018 Arterial and Residential Street Overlays Bid Award			Clint Morris		
--	Groveland Beach Park Repairs Bid Award			Alaine Sommargren		
PUBLIC HEARING						
REGULAR BUSINESS						
90	City's Financial Challenges: Review Community Advisory Group's Recommendations / Discuss Scenarios and Options			Julie Underwood		
EXECUTIVE SESSION						

MAY 17 (SPECIAL - JOINT SCHOOL BOARD/COUNCIL)						
DINNER (5:00 pm)						
REGULAR BUSINESS (5:30 PM)						

MAY 22 (SPECIAL - JOINT PLANNING COMMISSION/COUNCIL)						
DINNER (5:30 pm)						
REGULAR BUSINESS (6:00 PM)						

JUNE 5		DUE TO:	5/25 D/P	5/28 FN	5/28 CA	5/29 Clerk
ITEM TYPE TIME TOPIC			STAFF		SIGNER	
STUDY SESSION (6:00-7:00 pm)						
SPECIAL BUSINESS (7:00 pm)						
CONSENT CALENDAR						
--	Summer Celebration Fireworks Display Permit			Steve Heitman		
--	2018 Arterial and Residential Chip Seals Bid Award			Clint Morris		
PUBLIC HEARING						
90	City's Financial Challenges: Review City Manager's Recommendation / Proposed Levy Lid Lift Ordinance(s) (1st Reading)			Julie Underwood		Chip
REGULAR BUSINESS						
45	Zoning Code Cleanup Code Amendments (1st Reading)			Andrew Leon		
30	Adoption of 6-Year Transportation Improvement Program			Patrick Yamashita		
45	2017 Year-end Financial Status Report & Budget Adjustments			Chip Corder		Julie
EXECUTIVE SESSION						

JUNE 9 (SATURDAY, 8:00 AM – 5:00 PM)						
2018 MINI-PLANNING SESSION (MICEC)						

JUNE 19		DUE TO:	6/8 D/P	6/11 FN	6/11 CA	6/12 Clerk
ITEM TYPE TIME TOPIC			STAFF		SIGNER	
STUDY SESSION (6:00-7:00 pm)						
SPECIAL BUSINESS (7:00 pm)						
5	Parks and Recreation Month & Summer Celebration! Proclamation			Diane Mortenson		
10	KCLS Executive Director Lisa Rosenblum Introduction			Kirsten Taylor		
CONSENT CALENDAR						
PUBLIC HEARING						
REGULAR BUSINESS						
30	Last/First Mile Solutions: Dockless Bike Share Pilot Proposal			Ross Freeman		
60	Proposed Levy Lid Lift Ordinance(s) (2nd Reading)			Julie Underwood		Chip
90	2019-2024 Capital Improvement Program Preview			Chip Corder		Julie
15	1st Quarter 2018 Financial Status Report & Budget Adjustments			Chip Corder		Julie

EXECUTIVE SESSION					

JUNE 26 (SPECIAL MEETING)		DUE TO:	6/22 D/P	6/25 FN	6/25 CA	6/26 Clerk
ITEM TYPE TIME TOPIC			STAFF		SIGNER	
STUDY SESSION (6:00-7:00 pm)						
SPECIAL BUSINESS (7:00 pm)						
CONSENT CALENDAR						
PUBLIC HEARING						
REGULAR BUSINESS						
60	Procedural Zoning Code Amendments (1st Reading)			Nicole Gaudette		
30	Zoning Code Cleanup Code Amendments (2nd Reading)			Andrew Leon		
EXECUTIVE SESSION						

JULY 3					
CANCELED					

JULY 17		DUE TO:	7/6 D/P	7/9 FN	7/9 CA	7/10 Clerk
ITEM TYPE TIME TOPIC			STAFF		SIGNER	
STUDY SESSION (6:00-7:00 pm)						
SPECIAL BUSINESS (7:00 pm)						
5	National Night Out Proclamation			Jennifer Franklin		
CONSENT CALENDAR						
PUBLIC HEARING						
REGULAR BUSINESS						
60	Code Compliance Ordinance (1st Reading)			Alison Van Gorp		
30	Procedural Zoning Code Amendments (2nd Reading)			Nicole Gaudette		

EXECUTIVE SESSION					

AUGUST 7			DUE TO:	7/27 D/P	7/30 FN	7/30 CA	7/31 Clerk
ITEM TYPE TIME TOPIC					STAFF		SIGNER
NATIONAL NIGHT OUT (5:00-7:00 pm)							
120	National Night Out Party (City Hall Police Carport)						
SPECIAL BUSINESS (7:00 pm)							
5	Women’s Equality Day Proclamation						
CONSENT CALENDAR							
PUBLIC HEARING							
REGULAR BUSINESS							
30	Code Compliance Ordinance (2nd Reading)				Alison Van Gorp		
EXECUTIVE SESSION							

AUGUST 21							
CANCELED							

SEPTEMBER 4			DUE TO:	8/24 D/P	8/27 FN	8/27 CA	8/28 Clerk
ITEM TYPE TIME TOPIC					STAFF		SIGNER
STUDY SESSION (6:00-7:00 pm)							
SPECIAL BUSINESS (7:00 pm)							
5	National Recovery Month Proclamation			Cindy Goodwin			
5	Emergency Preparedness Month Proclamation			Jennifer Franklin			
5	Day of Concern for the Hungry Proclamation			Cindy Goodwin			
CONSENT CALENDAR							
PUBLIC HEARING							
REGULAR BUSINESS							
30	2nd Quarter 2018 Financial Status Report & Budget Adjustments (include Thrift Store Revenue/Expenditure Update)				Chip Corder		

EXECUTIVE SESSION					

SEPTEMBER 18		DUE TO:	9/7 D/P	9/10 FN	9/10 CA	9/11 Clerk
ITEM TYPE TIME TOPIC				STAFF		SIGNER
STUDY SESSION (6:00-7:00 pm)						
SPECIAL BUSINESS (7:00 pm)						
CONSENT CALENDAR						
PUBLIC HEARING						
REGULAR BUSINESS						
90	2018 Comprehensive Plan Amendments (1st Reading)			Evan Maxim		
EXECUTIVE SESSION						

OCTOBER 2		DUE TO:	9/21 D/P	9/24 FN	9/24 CA	9/25 Clerk
ITEM TYPE TIME TOPIC				STAFF		SIGNER
STUDY SESSION (6:00-7:00 pm)						
SPECIAL BUSINESS (7:00 pm)						
5	Domestic Violence Action Month Proclamation			Cindy Goodwin		
5	National Community Planning Month Proclamation			Scott Greenberg		
CONSENT CALENDAR						
PUBLIC HEARING						
60	2019-2020 Preliminary Budget: Budget Message Presentation & Distribution			Julie Underwood & Chip Corder		Julie
REGULAR BUSINESS						
45	2018 Comprehensive Plan Amendments (2nd Reading)			Evan Maxim		
30	Transportation Concurrency Ordinance (3rd reading)			Scott Greenberg		
EXECUTIVE SESSION						

OCTOBER 16		DUE TO:	10/5 D/P	10/8 FN	10/8 CA	10/9 Clerk
ITEM TYPE TIME TOPIC			STAFF		SIGNER	
STUDY SESSION (6:00-7:00 pm)						
SPECIAL BUSINESS (7:00 pm)						
CONSENT CALENDAR						
PUBLIC HEARING						
180	2019-2020 Preliminary Budget: Operating Budget Review			Chip Corder		Julie
REGULAR BUSINESS						
EXECUTIVE SESSION						

OCTOBER 26 (6:00PM – SPECIAL MEETING)		DUE TO:	10/5 D/P	10/8 FN	10/8 CA	10/9 Clerk
ITEM TYPE TIME TOPIC			STAFF		SIGNER	
SPECIAL BUSINESS						
180	2019-2020 Preliminary Budget: Operating Budget Review			Chip Corder		Julie

NOVEMBER 6		DUE TO:	10/26 D/P	10/29 FN	10/29 CA	10/30 Clerk
ITEM TYPE TIME TOPIC			STAFF		SIGNER	
STUDY SESSION (6:00-7:00 pm)						
SPECIAL BUSINESS (7:00 pm)						
5	Veteran’s Day Proclamation					
CONSENT CALENDAR						
PUBLIC HEARING						
180	2019-2020 Preliminary Budget: Capital Improvement Program Review			Chip Corder		Julie
REGULAR BUSINESS						

EXECUTIVE SESSION					

NOVEMBER 20		DUE TO:	11/9 D/P	11/12 FN	11/12 CA	11/13 Clerk
ITEM TYPE TIME TOPIC				STAFF		SIGNER
STUDY SESSION (6:00-7:00 pm)						
SPECIAL BUSINESS (7:00 pm)						
CONSENT CALENDAR						
PUBLIC HEARING						
90	2019-2020 Preliminary Budget: Finalize Changes to Budget, Pass 2019 NORCOM Budget Resolution, Adopt 2019 Property Tax Ordinances, and Pass 2019 Utility Rate Resolutions			Chip Corder		Julie
REGULAR BUSINESS						
60	Private Community Facilities Code Amendment (1st Reading)			Evan Maxim		
EXECUTIVE SESSION						

DECEMBER 4		DUE TO:	11/23 D/P	11/26 FN	11/26 CA	11/27 Clerk
ITEM TYPE TIME TOPIC				STAFF		SIGNER
STUDY SESSION (6:00-7:00 pm)						
SPECIAL BUSINESS (7:00 pm)						
CONSENT CALENDAR						
PUBLIC HEARING						
REGULAR BUSINESS						
30	2019-2020 Final Budget Adoption			Chip Corder		Julie
15	3rd Quarter 2018 Financial Status Report & Budget Adjustments			Chip Corder		Julie
45	Private Community Facilities Code Amendment (2nd Reading)			Evan Maxim		
EXECUTIVE SESSION						

DECEMBER 18		DUE TO:	12/7 D/P	12/10 FN	12/10 CA	12/11 Clerk
ITEM TYPE TIME TOPIC			STAFF		SIGNER	
STUDY SESSION (6:00-7:00 pm)						
SPECIAL BUSINESS (7:00 pm)						
CONSENT CALENDAR						
PUBLIC HEARING						
REGULAR BUSINESS						
EXECUTIVE SESSION						

OTHER ITEMS TO BE SCHEDULED:

- Parks Waterfront Structures Long-Term Planning – P. West
- Land Conservation Work Plan Update – A. Sommargren
- Open Space Vegetation Management – A. Sommargren
- Code of Ethics – K. Sand & A. Spietz
- Citizen of the Year Criteria – A. Spietz
- YTN Update – J. Underwood

COUNCILMEMBER ABSENCES:

- Wendy Weiker: June 26

MISD BOARD JOINT MEETING DATES:

- Thursday, April 26, 2018, 5:00-6:45 pm **POSTPONED**

ANNUAL (ROUTINE) ITEMS:

Council/City Manager:

- Legislative Agenda (Q4 & Q1)
- City Council Annual Planning Session (Q1)
- Adoption of City Council Goals (Q2)
- Mini-Planning Session (Q2)
- Sustainability Update (Q1 & Q3)

Development Services Group:

- ARCH Budget and Work Program (Q1)
- ARCH Trust Fund Recommendations (Q1)
- Comprehensive Plan Amendments (Q4)
- Comprehensive Plan Docket (Q4)

Finance/Budget:

- Every Year:
 - General Fund & REET Surplus Disposition (Q2)
 - Mercer Island Report Card (Q3)
 - 4th Quarter Financial Status Report & Budget Adjustments (Q2)
 - 1st Quarter Financial Status Report & Budget Adjustments (Q2)
 - 2nd Quarter Financial Status Report & Budget Adjustments (Q3)
 - 3rd Quarter Financial Status Report & Budget Adjustments (Q4)
- Odd Years:
 - Mid-Biennial Budget Review (3rd Quarter Financial Status Report & Budget Adjustments, Utility Rates, and Property Tax Levy) (Nov Mtg)
- Even Years:
 - Capital Improvement Program (CIP) Budget Kick-Off (2nd Mar Mtg)
 - **Operating Budget Kick-Off (Jun Mtg or Mini-PS)**
 - Preliminary Budget: Presentation & Distribution (1st Oct Mtg)
 - Preliminary Budget: Operating Budget Review (2nd Oct Mtg)
 - Preliminary Budget: Capital Improvement Program Review (1st Nov Mtg)
 - Preliminary Budget: Finalize Changes & Adopt Tax Ordinances and Fee Resolutions (2nd Nov Mtg)
 - Final Budget Adoption (1st Dec Mtg)

Fire Department:

- Summer Celebration Fireworks Display Permit (Q2)

Human Resources:

- Police & Police Support Collective Bargaining Agreements
- Fire Collective Bargaining Agreement
- AFSCME Collective Bargaining Agreement

Parks & Recreation:

- Arts Council Annual Report and Work Plan (Q2)
- Open Space Conservancy Trust Board Annual Report and Work Plan (Q2)

Public Works:

- Bid Awards & Project Close-Outs
- Public Hearing: Preview of 6-Year Transportation Improvement Program (Q2)
- Adoption of 6-Year Transportation Improvement Program (Q2)

Youth & Family Services:

- Interlocal Agreement with MISD for School Mental Health Counselors (Q3)

Proclamations

- Martin Luther King Jr. Day Proclamation (1st Jan)
- Black History Month Proclamation (1st Feb)
- Women’s History Month & International Women’s Day Proclamation (1st Mar)
- Sexual Assault Awareness Month Proclamation (1st Apr)
- Earth Day Proclamation (2nd Apr)
- Volunteer Appreciation Week Proclamation (2nd Apr)
- Building Safety Month Proclamation (1st May)
- Safe Boating and Paddling Week Proclamation (2nd May)
- Public Works Week Proclamation (2nd May)
- Parks and Recreation Month & Summer Celebration! Proclamation (1st Jul)
- National Night Out Proclamation (2nd Jul)
- Women’s Equality Day Proclamation (1st Aug)
- National Recovery Month Proclamation (1st Sep)
- Emergency Preparedness Month Proclamation (1st Sep)
- Day of Concern for the Hungry Proclamation (1st Sep)
- Domestic Violence Action Month Proclamation (1st Oct)
- National Community Planning Month Proclamation (1st Oct)
- Veteran’s Day Proclamation (1st Nov)