



## DESIGN COMMISSION REGULAR MEETING AGENDA

Wednesday, December 12, 2018  
Mercer Island City Hall

### DESIGN COMMISSIONERS

Colin Brandt, Vice Chair  
Richard Erwin, Chair  
Anthony Perez  
Hui Tian  
Suzanne Zahr  
Claire McPherson  
Tom Soeprono

PHONE: 206-275-7729  
WEB: [www.mercergov.org](http://www.mercergov.org)

### CALL TO ORDER & ROLL CALL

7:00 PM

### APPROVAL OF MINUTES

Minutes from November 14, 2018

### REGULAR BUSINESS

#### Agenda Item #1: DSR18-017

Design review study session for a proposed exterior remodel of the McDonald's restaurant in Town Center.

Staff Contact: Nicole Gaudette, Senior Planner

### OTHER BUSINESS

Planned Absences for Future Meetings

Announcements & Communications

Next Scheduled Meeting: Possibly January 9, 2019

### ADJOURN



# DESIGN COMMISSION MEETING MINUTES NOVEMBER 14, 2018

---

## CALL TO ORDER

Vice Chair Colin Brandt called the meeting to order at 7:05 PM in the Council Chambers, 9611 SE 36th Street, Mercer Island, Washington.

## ROLL CALL

Vice Chair Colin Brandt, Commissioners Claire McPherson, Anthony Perez, Hui Tian and Suzanne Zahr were present. Chair Richard Erwin and Commissioner Tom Soeprono were absent.

## STAFF PRESENT

Evan Maxim, Community Planning & Development (formerly Development Services Group) Director, Andrea Larson, Senior Administrative Assistant, Nicole Gaudette, Senior Planner, Robin Proebsting, Senior Planner, Hershel Rostov, Fire Marshal, Patrick Yamashita, City Engineer, and Bio Park, Assistant City Attorney were present.

## MEETING MINUTES APPROVAL

The Commission reviewed the minutes from the September 29, 2018.

It was moved by McPherson; seconded by Perez to:

**Approved the September 29, 2018 minutes as amended (clerical errors)**

Passed 4-0-1, Commissioner Brandt abstained.

## REGULAR BUSINESS

### Agenda Item #1: Design Review DSR2018-004

Robin Proebsting, Senior Planner, provided a brief presentation for the second design review study session for a new office building (East Seattle Partners) in Town Center.

Scott Carr, the architect, gave a brief presentation on the proposed new office building and Ivonne Beckett, Landscape architect answered questions regarding the plans and landscaping.

The Commission review the proposal and answered the applicant's questions.

1. Do the proposed exterior materials meet the intent of MICC 19.11.110- Materials and Color?  
The Commission stated that it should be considered to make sure there is enough of a tonal change from the brick to the concrete. Commissioner Perez cautioned against the powder coated garage door. Commissioner Brandt stated that to ensure that the concrete finish is a refined finish for the pedestrian experience.
2. Is the proposed extension of the second level over the sidewalk consistent with the code?  
The Commission stated that the material of the soffit should integrate more with the other materials of the building, that the overhang maintain at least 10' 9" overhang and that they would like to see some sort of articulation on the overhang.
3. Does the proposed streetscape design along SE 30<sup>th</sup> St meet the intent of MICC 19.11.120?  
The Commission agreed that the streetscape design does meet the intent of the code.
4. Do the proposed Minor Site Features meet the intent of MICC 19.11.120- Site Design?  
The Commission agreed that the Minor Site Features meet the intent of the code.

5. Does the proposed design of north wall meet the intent of MICC 19.11.100- Walls?  
The Commission agreed that the north wall meets the intent of the code.

Commissioner Zhar left at 8:30pm.

The Commission took a break until 8:35pm.

### **Agenda Item #2: Design Review DSR2018-018**

Nicole Gaudette, Senior Planner, provided a brief presentation for the design review study session for a new mixed-use building at the "King" and Mud Bay properties in Town Center.

Sher Chan, Johnson Architects, gave a presentation on the proposed mixed-use building and answered questions regarding the proposal.

Clayton Roadwin, ???, gave a presentation on the landscaping and walking path on the through block connection.

1. What is the Design Commission's vision for the Town Center?  
The Commission stated pedestrian scale and massing are very important to the character of the Town Center.
2. Is the height limit appropriately applied?  
Vice-Chair Brandt stated that the sloped roof height limit would not apply to this building design.
3. If the arborist recommends removal of the trees, and the trees are replanted according to the City's Streetscape Manual using City approved tree species, would the commission be ok with removal of existing street trees?  
The Commission stated that they are ok with the removal/ replacement of the trees and follow the Streetscape Manual.
4. Do the proposed setbacks meet the intent of the code?  
The Commission stated that they would need to see more diagrams to determine if the proposed setbacks meet the intent of the code.
5. Is the proposed approach to meeting the daylight plane standard acceptable?  
The Commission stated that they would need to see more diagrams to determine if the design meets the daylight plane. The Commission wants to be able to see that the mass is being brought down through use of the daylight plane or modulation. The Commission requests to see a shadow study in the next session.
6. What is an acceptable width for the walking path area per the Design Commission's understanding of a through block connection?  
The Commission would like to see if there is a way to add some sort of pocket in the pathway and agrees that it is a reasonable width for the walking path.
7. What type of decorative landmarks or kiosks or other site features should the applicant provide as minor or major site features?  
Seating areas in the south plaza. Consider opening the courtyard to the public. The Commission welcomes creative ideas and thinking outside of the box.

### **PLANNED ABSENCES FOR FUTURE MEETINGS**

**OTHER BUSINESS**

Evan Maxim, CPD Director, provided a Directors report on a few more Town Center projects that maybe coming.

**ANNOUNCEMENTS AND COMMUNICATIONS**

The next Design Commission meeting is on December 12, 2018 at 7:00PM.

**ADJOURNMENT** The meeting was adjourned at 11:09pm

DRAFT



**CITY OF MERCER ISLAND  
DESIGN COMMISSION  
STUDY SESSION STAFF REPORT  
EXTERIOR REMODEL**

**Agenda Item: 1  
December 12, 2018**

Project:	McDonald's Corporation Remodel (DSR18-017)
Description:	A Design Commission study session to review an exterior remodel for an existing McDonald's restaurant in the Town Center.
Applicant:	Matt Grinnell (Freiheit Architecture)
Site Addresses:	2807 78 <sup>th</sup> Ave SE; Identified by King County Tax Parcel # 531510-1305
Zoning District:	Town Center -4 (TC-4)
Exhibits:	<ol style="list-style-type: none"><li>1. Color Elevations by Freiheit Architecture, dated received on November 8, 2018</li><li>2. Site Plan, Demo, and Elevation drawings, dated received on November 8, 2018</li><li>3. Examples of Post Construction, dated received on November 8, 2018</li><li>4. Applicant Questions, dated received on November 8, 2018</li></ol>

---

**1. SUMMARY**

The applicant is participating in a Design Commission study session to review a proposed exterior remodel for an existing building located in the Town Center - 4 (TC-4) zone. The site currently contains one restaurant with a surface parking lot and a drive through. Pursuant to MICC 19.15.220(C)(1)(c)(i)((c)), any alterations to an existing building that will result in a change of 50 percent, or more, of the exterior surface area must be reviewed by the design commission. Pursuant to MICC 19.15.220(C)(2)(a) all projects reviewed by the design commission must undergo a study. The study session provides an opportunity to obtain feedback from the design commission early in the design review process.

As the project progresses through the application process, an open record public hearing will be scheduled in front of the Design Commission pursuant to Mercer Island City Code (MICC) 19.15.030 Table B. When the applicant formally comes before the Design Commission, the project must meet the criteria listed in MICC Section 19.11, Town Center Development and Design Standards.

---

**2. STAFF ANALYSIS AND CRITERIA FOR REVIEW**

Pursuant to MICC 19.15.220(C)(1)(c), any alterations to an existing building that will result in a change of 50 percent, or more, of the exterior surface area must be reviewed by the design commission. MICC 19.15.220(C)(2)(a) requires any project that requires design commission approval to go before the design commission with a study session prior to application "to discuss project concepts before the plans are fully developed." Using the preliminary information provided to the City by the applicant, planning staff conducted an initial cursory review of the project.

The applicant has submitted a list of questions. The questions have been provided as Exhibit 4. The applicant would also appreciate general feedback on the proposed design.

The questions are in bold type below. Staff has added to and expanded upon the applicant's questions to address the applicant's concerns.

**1. Are the materials and colors proposed in compliance with Mercer Island's design guidelines? Is the accent painted corrugated metal parapet band okay?**

Staff Analysis

MICC 19.11.110 states the following about materials and colors:

MICC 19.11.110(A)

Objectives. Textured high quality materials and colors should bring a visually interesting experience into the streetscape. Color should be carefully considered in relation to the overall design of the building and surrounding buildings. Color and materials should highlight architectural elements such as doors, windows, fascias, cornices, lintels, and sills. Variations in materials and colors should be generally limited to what is required for contrast or to accentuate architectural features. Piecemeal embellishment and frequent changes in materials should be avoided. The materials and colors selected should be consistent with the intent, purpose and vision set forth in MICC 19.11.010.

MICC 19.11.110(B)

1. Building Exteriors. Building exteriors should be constructed from high quality and durable materials. It is important that the materials and colors weather well and that building exteriors need minimal maintenance.
2. Regional Focus. Materials and colors should reflect the city's regional setting.
3. Attention to All Sides. Materials and colors should be used with cohesiveness and compatibility on all sides of a building.
4. Concrete Walls. Concrete walls should be architecturally treated. The treatment may include textured concrete such as exposed aggregate, sand blasting, stamping or color coating.
5. Harmonious Range of Colors. A harmonious range of colors should be used within the Town Center. Neon or very bright colors, which have the effect of unreasonably setting the building apart from other adjacent buildings on the street, should not be used.
6. Bright Colors. Bright colors should be used only for trim and accents if the use is consistent with the building design and other design requirements.
7. Undesired Materials. Beveled metal siding, mirrored glass, and vinyl siding should not be used. EIFS, stucco and similar materials should be limited to use as a minor building facade element.
8. Variation of Materials. A variation of building materials should be used to assist in the creation of a visually interesting experience.

As shown on Exhibit 1, the cement lap siding, tile, and brick meet appear to meet the standards. Clarification is needed in regards to the aluminum trellis, metal fascia, and corrugated metal parapet meet the standards. Standard #7 above does states that beveled metal siding is an undesired material and should be limited to use as a minor building element. Does this apply to all metal materials? If so, the trellis, fascia, and parapet are minor building façade elements and may be composed of metal materials. Does the design commission agree?

The colors appear to meet the standards (Exhibit 1).

Please see Exhibit 1 for material and color details. Examples of materials and colors are also found in Exhibit 3

## **2. *Is the proposed signage in compliance with Mercer Island’s design guidelines?***

### Staff Analysis

#### Wall Signage

Pursuant to MICC 19.11.140(B)(2)(a), “A wall sign shall be granted to commercial uses occupying buildings facing the streets and are limited to one sign per business on each street frontage....”

A wall sign is allowed on the west elevation because it faces a street. The south elevation does not face a street, so a wall sign is not allowed on that elevation. (Exhibit 1)

#### Projecting Sign

Pursuant to MICC 19.11.140(B)(3), projecting signs are allowed if they meet the sidewalk clearance standard, the size standard, and the standard for maximum projection from the building. This code section also allows the design commission to reduce the size of awning signs on awnings to assure the awning is in scale with the structure. This insinuates that projecting signs come in forms other than blade or marquee signs.

Awnings that contain graphics used as signage are considered to be projecting signs pursuant to MICC 19.11.140(B)(3)(d). This code section insinuates that projecting signs come in forms other than blade or marquee signs. Are signs attached to canopies also projecting signs? If so, is the proposed “welcome” sign attached to the canopy above the main entrance to the building on the south elevation (Exhibit 1) a projecting sign?

#### Menu Boards

MICC 19.11.140(B)(5) states that “Signs within parking lots should be limited to those necessary for safety, identification and direction.” The code does not provide any further guidance specifically for drive through menu boards. One could look to the objective section of the sign regulations, located in MICC 19.11.140(a) which states:

A. Objectives. Signs shall be distinctive, finely crafted and designed to enhance the aesthetics of the Town Center and to improve pedestrian and motorist safety. Signs shall be designed for the purpose of identifying the business in an attractive and functional manner and to help customers find the specific business locations; they should not serve as general

advertising. The size of signs shall be in proportion to the size of business store frontage. Signs shall be integrated into the building design, compatible with their surroundings and clearly inform pedestrians and motorists of business names, but should not detract from the architectural quality of individual buildings.

The applicant has provided the following information about the proposed menu boards:

- They are in the drive through and away from street view
- The gateway sign is a structure and sign that directs customers to the drive through. It is also a safety item that prevents cars that are too large from entering the drive through.
- The canopy is where the customer places their order. It also protects the driver as they roll down their window in case of heavy rain.

Please see Exhibit 1 for wall and projecting sign locations. Please see Exhibit 2 for locations of menu boards. Please see Exhibit 3 for examples of the canopy and menu boards that are proposed for the site.

### **3. Are the proposed canopies in compliance with Mercer Island's design guidelines?**

#### Staff Analysis

The applicant is providing two canopies; one above the entrance door on the south elevation, and one above the menu board in the drive through. MICC 19.11.100(B)(13) provides four standards that apply to the proposed canopies. The standards are:

- c. Architectural details should not be concealed by awnings or canopies.
- d. Awning shapes should relate to the shape of the façade's architectural elements. The use of traditionally shaped awnings is encouraged.
- e. Vinyl or plastic awnings or canopies are prohibited.
- f. All awnings or canopies shall function to protect pedestrians from rain and other weather conditions.

Architectural details would not be concealed by the canopies. Both canopies will relate to the shape of the facades' architectural elements. All the proposed canopies will be constructed of metal. The canopy at the main entrance will protect pedestrians from the rain. The canopy at the menu board will protect drivers from the rain. These standards appear to be met.

Please see Exhibit 3 for examples of the canopies that are proposed for the site.

### **4. Is the amount of fenestration proposed in compliance with Mercer Island's design guidelines?**

#### Staff Analysis

MICC 19.11.100(B)(1) provides one code section that applies to the project in regards to fenestration. This code section, 19.11.100(B)(1)(a), states:

- a. Transparent Facades. Articulated, transparent facades should be created along pedestrian rights-of-way. Highly tinted or mirrored glass windows shall not be allowed. Shades, blinds or



screens that prevent pedestrian view into building spaces shall not be allowed, except where required or desired for privacy in dwelling units, hotel rooms and similar residential uses.

The property spans between two rights of way; 77<sup>th</sup> Ave SE and 78<sup>th</sup> Ave SE. However, due to the setback from the 78<sup>th</sup> Avenue, and an enclosed service area between 78<sup>th</sup> Ave and the building, the east elevation is barely visible from 78<sup>th</sup> Avenue. Also, additional fenestration is not required for remodels of existing buildings. Fenestration is provided on the west elevation of the building facing 77<sup>th</sup> Avenue. If the new windows are not highly tinted or mirrored, and shades, blinds or screens that would prevent pedestrian view into the buildings are not used, the fenestration requirements appear to be met.

The applicant appreciates any input the Design Commission is willing to share in addition to the specific topics above.

---

**III. RECOMMENDATION**

---

There is no recommended motion at this time, as this is a Design Commission study session.

T.O. BRAND MALL  
ELEV. +18'-4"  
T.O. PARAPET  
ELEV. +18'-0"

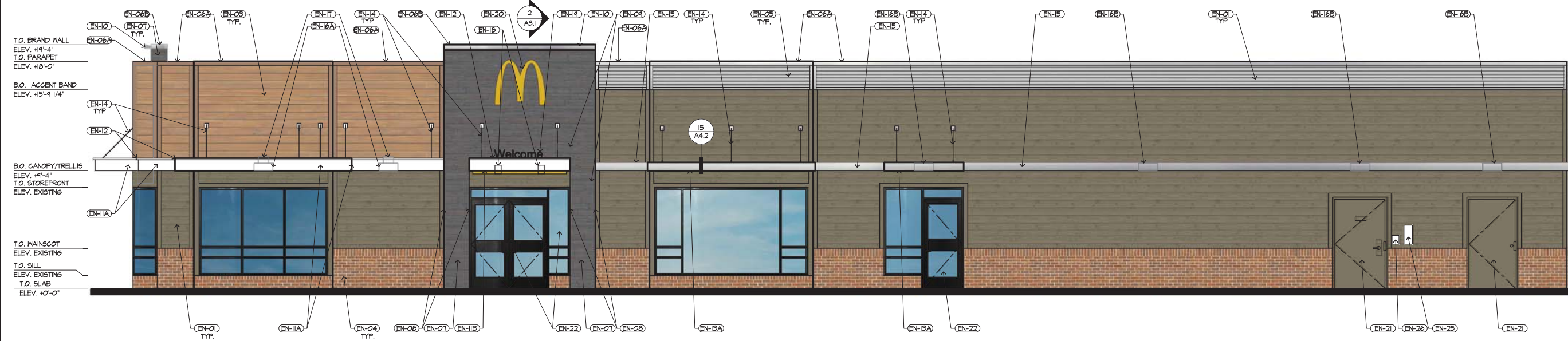
B.O. ACCENT BAND  
ELEV. +15'-4 1/4"

B.O. DT TRELLIS  
ELEV. +10'-11"  
B.O. CANOPY  
ELEV. +4'-4"  
T.O. STOREFRONT  
ELEV. EXISTING

T.O. MAINSCOT  
ELEV. EXISTING  
T.O. SILL  
ELEV. EXISTING  
T.O. SLAB  
ELEV. +0'-0"



1 WEST ELEVATION  
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES

- (EN-01) NEW CEMENT BOARD LAP SIDING PER FINISH SCHEDULE, THIS SHEET. COLOR: BASE BUILDING. SEE SHEET A4.0 FOR TYPICAL DETAILS.
- (EN-02) NEW CEMENT BOARD LAP SIDING PER FINISH SCHEDULE, THIS SHEET. COLOR: ACCENT COLOR. SEE SHEET A4.0 FOR TYPICAL DETAILS.
- (EN-03) NEW CEMENT BOARD LAP SIDING PER FINISH SCHEDULE, THIS SHEET. COLOR: ABOVE CANOPY FINISH. SEE SHEET A4.0 FOR TYPICAL DETAILS.
- (EN-04) EXISTING BRICK MAINSCOT TO REMAIN.
- (EN-05) NEW PARAPET ACCENT BAND PER COLOR LEGEND, THIS SHEET.
- (EN-06) METAL FASCIA (COLOR: CITYSCAPE). A: PRE-FAB ANCHOR-TITE; B: PRE-FAB CUSTOM ARCADE FASCIA.
- (EN-07) TILE - SEE COLOR LEGEND, THIS SHEET. CONTACT: JAN DETER, (714) 931-7500.
- (EN-08) OUTSIDE CORNER STRIPS. RONDEC RO/OOTSDA (DARK ANTHRACITE) ALUMINUM, 10MM.
- (EN-09) MOVEMENT JOINT: DILEX BVB10065 (BLACK).
- (EN-10) ACCENT LIGHTING (ARCADE LIGHT) - SEE ELECTRICAL.
- (EN-11) 12" HIGH ALUMINUM CANOPY FASCIA BAND (COLOR: WHITE) ON ALUMINUM TRELLIS SYSTEM (COLOR: WHITE) A: NO UNDERSCORE; B: GOLD UNDERSCORE.
- (EN-12) ACCENT LIGHTING (INTEGRAL CANOPY LIGHT) - SEE ELECTRICAL.
- (EN-13) ALUMINUM TRELLIS. A: COLOR: CITYSCAPE. B: COLOR: CHARCOAL WITH GOLD UNDERSCORE.
- (EN-14) ALUMINUM TRELLIS TIE-BACK SYSTEM. COLOR: CHARCOAL.
- (EN-15) ALUMINUM TRELLIS 2"x8" WALL FASCIA.
- (EN-16) LIGHT FIXTURE (WALL SCENCE) - SEE ELECTRICAL. A: DOWN ONLY FIXTURE (COLOR: WHITE) B: DOWN ONLY FIXTURE (COLOR: SILVER).
- (EN-17) ACCENT LIGHTING (FLOOD LIGHT) - SEE ELECTRICAL.
- (EN-18) LIGHT FIXTURE (RECESSED DOWN, INTEGRAL CANOPY). COLOR: SILVER -SEE ELECTRICAL.
- (EN-19) METAL LETTERING - BY OTHERS. (WELCOME - COLOR: SILVER)
- (EN-20) McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.
- (EN-21) HOLLOW METAL DOOR & FRAME - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL.
- (EN-22) NEW STOREFRONT TO MATCH EXISTING PER SCHEDULE (10' MIN. BOTTOM STILE @ DOORS).
- (EN-23) (RM4C) COIN COLLECTOR. SEE DETAIL 12/A4.3
- (EN-24) EXISTING RAIN LEADER TO REMAIN. MODIFY AS NECESSARY TO ACCOMMODATE NEW CONSTRUCTION. PAINT TO MATCH ADJACENT FINISH.
- (EN-25) EXISTING CO2 FILL BOX TO REMAIN.
- (EN-26) EXISTING BULK OIL FILL BOX TO REMAIN.
- (EN-27) NOT USED.
- (EN-28) GUARD RAIL - PAINT TO MATCH SURROUNDING MATERIAL.
- (EN-29) PIPE BOLLARD PER SITE PLAN. FINISH WITH (2) COATS TRAFFIC YELLOW.
- (EN-30) EXISTING GAS METER ASSEMBLY TO REMAIN.
- (EN-31) EXISTING ELECTRICAL METER ASSEMBLY TO REMAIN.
- (EN-32) NEW READY ACCESS DRIVE THRU WINDOW TO MATCH EXISTING PER PLAN & SCHEDULE.

ELEVATION GENERAL NOTES

1. FASCIA SIGN WALL SUPPORTS TO BE VERIFIED WITH McDONALD'S AREA CONSTRUCTION MANAGER AND COORDINATED WITH SIGN MANUFACTURER.
2. \* \* \* DENOTES SAFETY GLAZING.
3. TRASH ENCLOSURE & GATES (NOT SHOWN) TO RECEIVE NEW SIDING TO MATCH BUILDING & BE PAINTED 'BASE BUILDING' COLOR.

COLOR LEGEND

- BRAND MALLS: TILE: EUROWEST; E-WOOD COLLECTION R4 BLACK; SIZE: 6" X 36", PATTERN: 1/4 OFFSET RUNNING BOND WATERPROOFING & SETTING MATERIAL GROUT: BY MAPEI GROUT COLOR: ULTRA COLOR PLUS - 4T CHARCOAL GROUT WIDTH: 1/8" TO 3/16" ACCESSORIES: SCHLUTER SYSTEMS CONTACT EARL MAIGUS 518.324.3410 CORNER TRIM: RONDEC RO/OOTSDA DARK ANTHRACITE ALUMINUM, 10MM MOVEMENT JOINT: DILEX BVB10065 BLACK
- ACCENT BAND: METAL-ERA CORRUGATED 7/8" 3" PANEL 24 GAUGE; COLOR: CITYSCAPE
- LAP SIDING: JAMES HARDIE CEMENT BOARD LAP SIDING, MATCH EXISTING EXPOSURE & FINISH.
- BASE BUILDING: "FAIRVIEU TAUPPE" BENJAMIN MOORE #4C-85
- ACCENT COLOR: "IRON MOUNTAIN" BENJAMIN MOORE #2184-30
- ABOVE CANOPY FINISH: FIBER CEMENT SIDING NICHHA VINTAGE WOOD COLLECTION CEDAR

PREPARED BY: M. McDonald's USA, LLC  
 DRAWN BY: M. McDonald's USA, LLC  
 STD ISSUE DATE: MAR 2017  
 REVIEWED BY: JLT  
 DATE ISSUED: JUL 2018  
 SITE ADDRESS: 2907 78TH STREET MERCER ISLAND WA, 98040  
 46-0200

THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF MCDONALD'S USA, LLC AND SHALL NOT BE COPIED OR REPRODUCED WITHOUT WRITTEN AUTHORIZATION. THE CONTRACT DOCUMENTS WERE PREPARED FOR THE PROJECT DESCRIBED HEREIN AND ARE NOT TO BE USED FOR ANY OTHER PROJECT. USE OF THESE DRAWINGS FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE USER TO OBTAIN THE NECESSARY PERMISSIONS FROM MCDONALD'S USA, LLC. THE CONTRACT DOCUMENTS FOR THIS PROJECT ARE NOT AUTHORIZED.

REV	DATE	DESCRIPTION
1	8/01/2018	LEGAL CLEARANCE
2		

TITLE: 2018 MRP REMODEL  
 CORE 16  
 SHEET NO. A2.0  
 ELEVATIONS

FREIHEIT ARCHITECTURE

T.O. BRAND MALL  
ELEV. +11'-4"  
T.O. PARAPET  
ELEV. +18'-0"

B.O. ACCENT BAND  
ELEV. +15'-1 1/4"

B.O. DT TRELLIS  
ELEV. +10'-11"

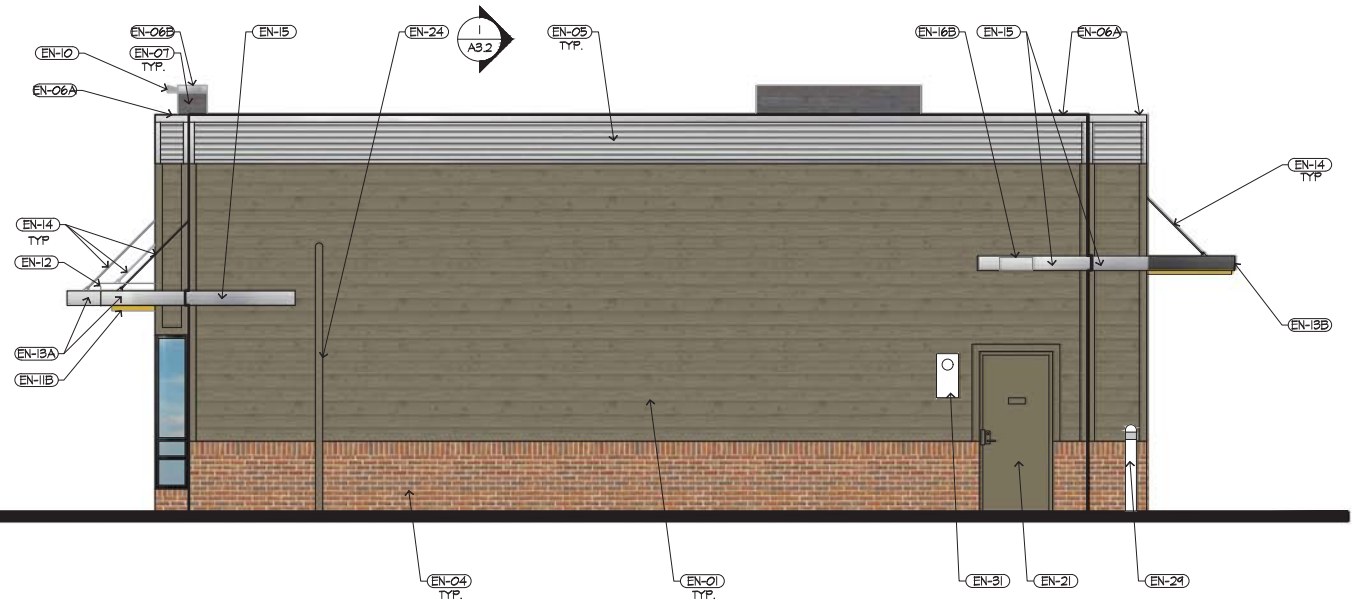
B.O. CANOPY/TRELLIS  
ELEV. +4'-4"

T.O. STOREFRONT  
ELEV. EXISTING

T.O. MAINSCOT  
ELEV. EXISTING

T.O. SILL  
ELEV. EXISTING

T.O. SLAB  
ELEV. +0'-0"



1 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

T.O. BRAND MALL  
ELEV. +11'-4"  
T.O. PARAPET  
ELEV. +18'-0"

B.O. ACCENT BAND  
ELEV. +15'-1 1/4"

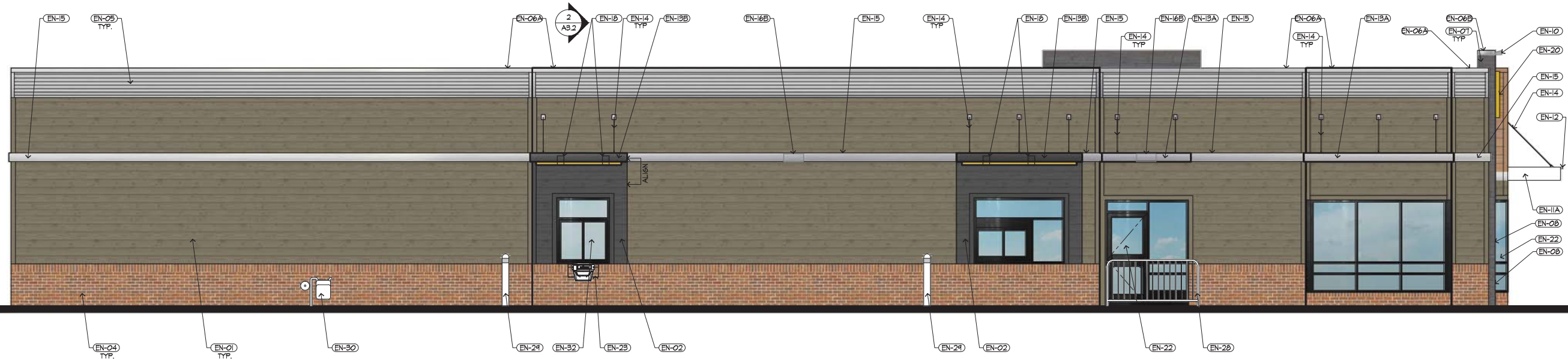
B.O. DT TRELLIS  
ELEV. +10'-11"

B.O. CANOPY  
ELEV. +4'-4"

T.O. STOREFRONT  
ELEV. EXISTING

T.O. MAINSCOT  
ELEV. EXISTING

T.O. SLAB  
ELEV. +0'-0"



2 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES

- (EN-01) NEW CEMENT BOARD LAP SIDING PER FINISH SCHEDULE, THIS SHEET. COLOR: BASE BUILDING. SEE SHEET A4.0 FOR TYPICAL DETAILS.
- (EN-02) NEW CEMENT BOARD LAP SIDING PER FINISH SCHEDULE, THIS SHEET. COLOR: ACCENT COLOR. SEE SHEET A4.0 FOR TYPICAL DETAILS.
- (EN-03) NEW CEMENT BOARD LAP SIDING PER FINISH SCHEDULE, THIS SHEET. COLOR: ABOVE CANOPY FINISH. SEE SHEET A4.0 FOR TYPICAL DETAILS.
- (EN-04) EXISTING BRICK MAINSCOT TO REMAIN.
- (EN-05) NEW PARAPET ACCENT BAND PER COLOR LEGEND, THIS SHEET.
- (EN-06) METAL FASCIA (COLOR: CITYSCAPE). A: PRE-FAB ANCHOR-TITE; B: PRE-FAB CUSTOM ARCADE FASCIA.
- (EN-07) TILE - SEE COLOR LEGEND, THIS SHEET. CONTACT: JAN DETER, (714) 937-7500.
- (EN-08) OUTSIDE CORNER STRIPS. RONDEC RO/OOTSDA (DARK ANTHRACITE) ALUMINUM, 10MM.
- (EN-09) MOVEMENT JOINT: DILEX BMB10065 (BLACK).
- (EN-10) ACCENT LIGHTING (ARCADE LIGHT) - SEE ELECTRICAL.
- (EN-11) 12" HIGH ALUMINUM CANOPY FASCIA BAND (COLOR: WHITE) ON ALUMINUM TRELLIS SYSTEM (COLOR: WHITE) A: NO UNDERSCORE, B: GOLD UNDERSCORE.
- (EN-12) ACCENT LIGHTING (INTEGRAL CANOPY LIGHT) - SEE ELECTRICAL.
- (EN-13) ALUMINUM TRELLIS. A: COLOR: CITYSCAPE. B: COLOR: CHARCOAL WITH GOLD UNDERSCORE.
- (EN-14) ALUMINUM TRELLIS TIE-BACK SYSTEM. COLOR: CHARCOAL.
- (EN-15) ALUMINUM TRELLIS 2"x8" WALL FASCIA.
- (EN-16) LIGHT FIXTURE (WALL SCENCE) - SEE ELECTRICAL. A: DOWN ONLY FIXTURE (COLOR: WHITE) B: DOWN ONLY FIXTURE (COLOR: SILVER).
- (EN-17) ACCENT LIGHTING (FLOOD LIGHT) - SEE ELECTRICAL.
- (EN-18) LIGHT FIXTURE (RECESSED DOWN, INTEGRAL CANOPY). COLOR: SILVER - SEE ELECTRICAL.
- (EN-19) METAL LETTERING - BY OTHERS. (WELCOM - COLOR: SILVER)
- (EN-20) McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.
- (EN-21) HOLLOW METAL DOOR & FRAME - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL.
- (EN-22) NEW STOREFRONT TO MATCH EXISTING PER SCHEDULE (10' MIN. BOTTOM STILE @ DOORS).
- (EN-23) (RMHC) COIN COLLECTOR. SEE DETAIL 12/A4.3
- (EN-24) EXISTING RAIN LEADER TO REMAIN. MODIFY AS NECESSARY TO ACCOMMODATE NEW CONSTRUCTION. PAINT TO MATCH ADJACENT FINISH.
- (EN-25) EXISTING CO2 FILL BOX TO REMAIN.
- (EN-26) EXISTING BULK OIL FILL BOX TO REMAIN.
- (EN-27) NOT USED.
- (EN-28) GUARD RAIL - PAINT TO MATCH SURROUNDING MATERIAL.
- (EN-29) PIPE BOLLARD PER SITE PLAN. FINISH WITH (2) COATS TRAFFIC YELLOW.
- (EN-30) EXISTING GAS METER ASSEMBLY TO REMAIN.
- (EN-31) EXISTING ELECTRICAL METER ASSEMBLY TO REMAIN.
- (EN-32) NEW READY ACCESS DRIVE THRU WINDOW TO MATCH EXISTING PER PLAN & SCHEDULE.

ELEVATION GENERAL NOTES

1. FASCIA SIGN WALL SUPPORTS TO BE VERIFIED WITH McDONALD'S AREA CONSTRUCTION MANAGER AND COORDINATED WITH SIGN MANUFACTURER.
2. \* \* \* DENOTES SAFETY GLAZING.
3. TRASH ENCLOSURE & GATES (NOT SHOWN) TO RECEIVE NEW SIDING TO MATCH BUILDING & BE PAINTED "BASE BUILDING" COLOR.

COLOR LEGEND

DESCRIPTION	CRAFTSMAN SCHEME
BRAND WALLS:	TILE: EUROWEST; E-WOOD COLLECTION R9 BLACK; SIZE: 6" X 36", PATTERN: 1/4 OFFSET RUNNING BOND WATERPROOFING & SETTING MATERIAL GROUT: BY MAFEI GROUT COLOR: ULTRA COLOR PLUS - 41 CHARCOAL GROUT WIDTH: 1/8" TO 3/16" ACCESSORIES: SCHLUTER SYSTEMS CONTACT EARL MAIGUS 518.324.3410 CORNER TRIM: RONDEC RO/OOTSDA DARK ANTHRACITE ALUMINUM, 10MM MOVEMENT JOINT: DILEX BMB10065 BLACK
ACCENT BAND:	METAL-ERA CORRUGATED 7/8" 3" PANEL 24 GAUGE; COLOR: CITYSCAPE
LAP SIDING:	JAMES HARDIE CEMENT BOARD LAP SIDING, MATCH EXISTING EXPOSURE & FINISH.
BASE BUILDING:	"FAIRVIEN TAUPÉ" BENJAMIN MOORE #HC-85
ACCENT COLOR:	"IRON MOUNTAIN" BENJAMIN MOORE #2184-30
ABOVE CANOPY FINISH:	FIBER CEMENT SIDING NICHINA VINTAGE WOOD COLLECTION CEDAR

DRAWN BY: M. McDonald's USA, LLC  
 PREPARED FOR: M. McDonald's USA, LLC  
 © 2018 McDonald's USA, LLC  
 These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared by the architect and shall govern over any other drawings. Use of these drawings for reference or example on another project requires the user to obtain the necessary permissions from the architect. Use of the contract documents for use on another project is not authorized.

REV	DATE	DESCRIPTION
1	8/01/2018	LEGAL CLEARANCE
2		STORMWATER REVIEW SUBMITTAL
3		FHA
4		FHA
5		BY

TITLE: 2018 MRP REMODEL  
 CORE 16  
 DESCRIPTION: DMU WALLS  
 SHEET NO.: A18-338 - #11027  
 SITE ADDRESS: 2907 78TH STREET MERCER ISLAND WA, 98040  
 46-0200

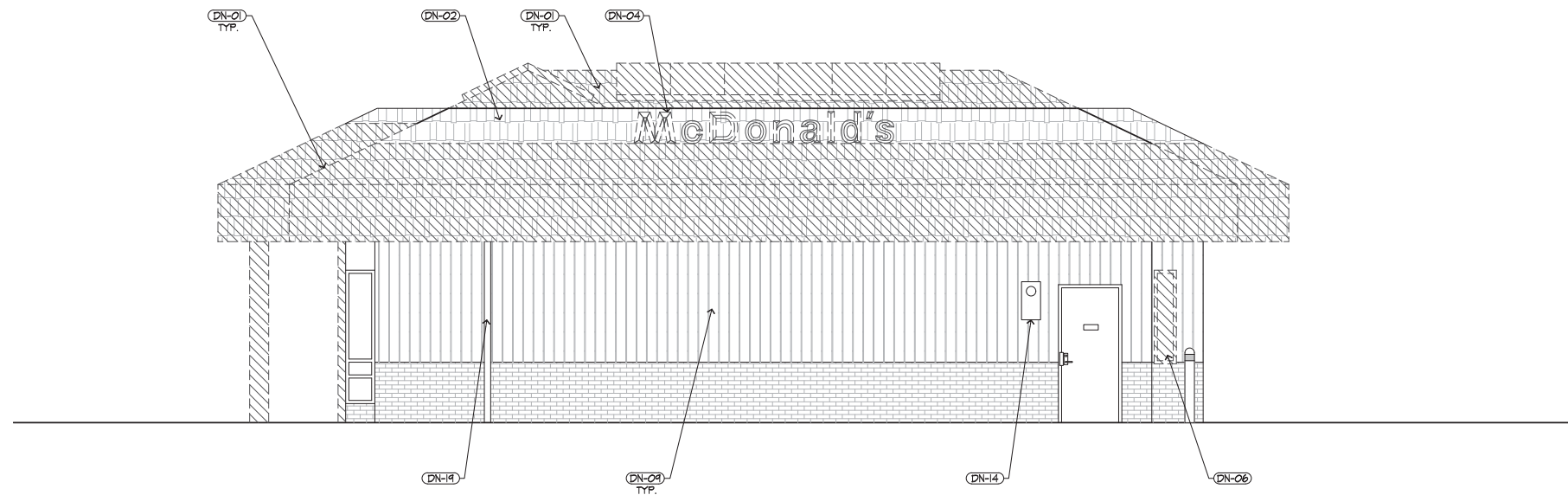
**FREIHEIT**  
 ARCHITECTURE



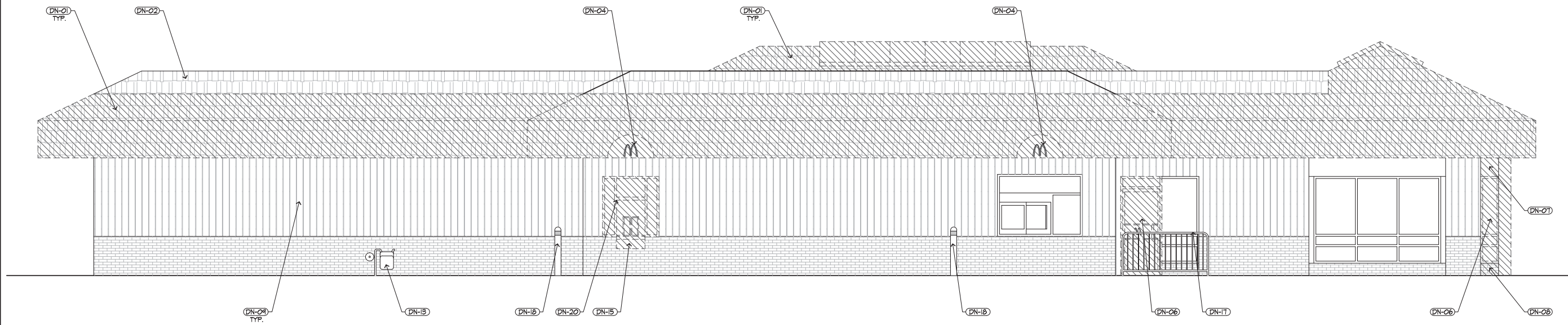








1 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

### DEMO ELEVATION KEYNOTES

- |   |  |
|---|--|
| <p>DN-01 REMOVE EXISTING MANSARD ROOF OVERHANG PROJECTION TO ALIGN WITH WALL BELOW. REMOVE ALL ASSOCIATED SOFFIT LIGHT FIXTURES &amp; CAP UTILITIES BEHIND WALL AS NECESSARY.</p> <p>DN-02 REMOVE EXISTING ROOFING FINISHES DOWN TO EXISTING SHEATHING AT PORTION OF MANSARD TRUSSES REMAINING.</p> <p>DN-03 REMOVE EXISTING BUILDING SIGNAGE. VERIFY WITH OWNER IF SALVAGEABLE.</p> <p>DN-04 REMOVE ALL LOGO STICKERS AND DECALS FROM ALL WINDOWS AND DOORS.</p> <p>DN-05 REMOVE EXISTING STOREFRONT &amp; FRAME AS SHOWN TO ACCOMMODATE NEW CONSTRUCTION. VERIFY SALVAGE OR DISPOSAL WITH McDONALD'S AREA CONSTRUCTION MANAGER. SEE DEMOLITION &amp; FLOOR PLANS FOR EXTENT OF WORK.</p> <p>DN-06 REMOVE PORTION OF EXTERIOR WALL AS SHOWN, TO ACCOMMODATE NEW CONSTRUCTION. SEE DEMOLITION &amp; FLOOR PLAN FOR EXTENT OF WORK. SALVAGE EXISTING CAST STONE MAINSCOT FOR REUSE AT NEW WALLS. VERIFY EXTENT OF SALVAGE WITH McDONALD'S CONSTRUCTION MANAGER.</p> <p>DN-07 REMOVE PORTION OF EXISTING BRICK MAINSCOT FINISH DOWN TO EXISTING SHEATHING TO EXTENT SHOWN, TO ACCOMMODATE NEW CONSTRUCTION. SEE DEMOLITION &amp; FLOOR PLANS FOR EXTENT OF WORK. SALVAGE PER DN-07.</p> <p>DN-08 REMOVE ALL EXISTING SIDING &amp; TRIM FOR INSTALLATION OF NEW. VERIFY CONDITION OF EXISTING SHEATHING &amp; NUBS/ A.B. REPAIR/ REPLACE AS NECESSARY. EXISTING SIDING IS NOT TO BE USED AT SHEATHING. IF NO SHEATHING EXISTS, G.C. TO PROVIDE NEW EXTERIOR GRADE PLYWOOD SHEATHING.</p> <p>DN-10 EXISTING CO2 FILL BOX TO REMAIN; PROTECT FROM DAMAGE.</p> <p>DN-11 EXISTING BULK OIL FILL BOX TO REMAIN; PROTECT FROM DAMAGE.</p> <p>DN-12 NOT USED.</p> | <p>DN-13 EXISTING GAS METER ASSEMBLY TO REMAIN. PROTECT FROM DAMAGE.</p> <p>DN-14 EXISTING ELECTRICAL METER ASSEMBLY TO REMAIN. PROTECT FROM DAMAGE.</p> <p>DN-15 EXISTING RMHC COIN COLLECTOR TO REMAIN. REMOVE &amp; REINSTALL FOR INSTALLATION OF NEW SIDING.</p> <p>DN-16 REMOVE EXISTING SECURITY CAMERAS TO ACCOMMODATE NEW CONSTRUCTION. REINSTALL PER OWNER'S DIRECTION.</p> <p>DN-17 REMOVE EXISTING GUARDRAIL. VERIFY REUSE, SALVAGE, OR DISPOSAL WITH McDONALD'S CONSTRUCTION MANAGER.</p> <p>DN-18 EXISTING BOLLARD TO REMAIN; PROTECT FROM DAMAGE.</p> <p>DN-19 EXISTING GUTTER &amp; DOWNSPOUT TO REMAIN. REMOVE &amp; REINSTALL FOR INSTALLATION OF NEW SIDING.</p> <p>DN-20 REMOVE EXISTING DRIVE THRU WINDOW &amp; FRAME AS SHOWN. VERIFY SALVAGE OR DISPOSAL WITH McDONALD'S CONSTRUCTION MANAGER.</p> |
|---|--|

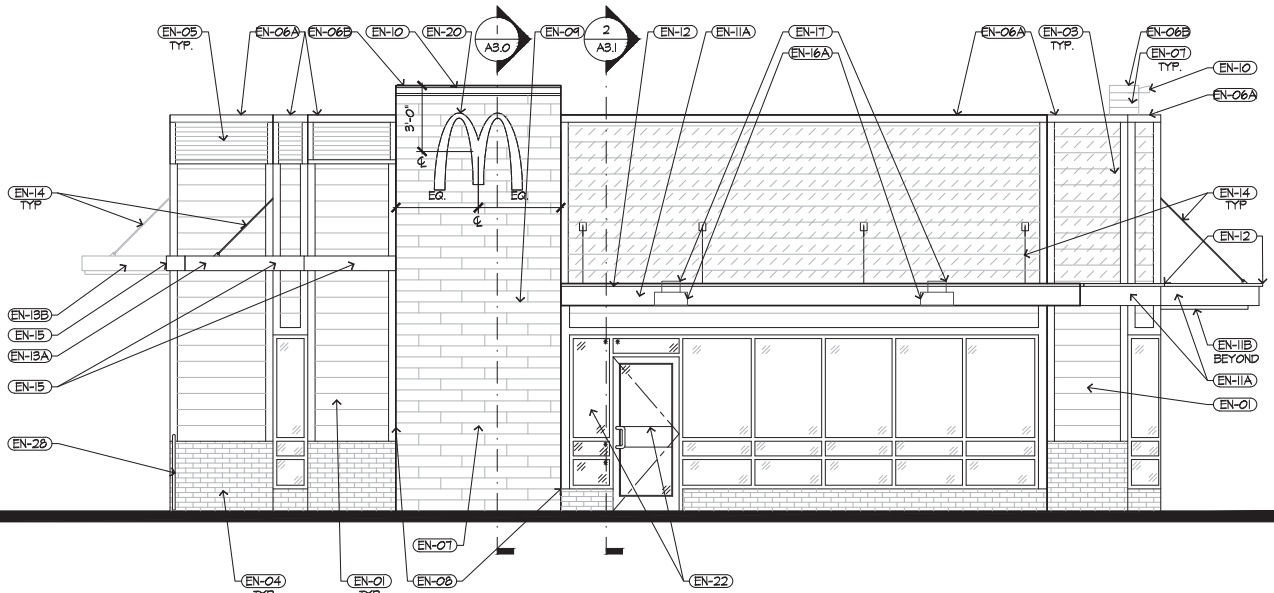
### DEMOLITION GENERAL NOTES

- THESE DRAWINGS WERE PREPARED BASED ON INFORMATION ATTAINED FROM A SITE SURVEY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR TO DEMOLITION & NOTIFY THIS OFFICE IN CASE OF DISCREPANCIES ASAP. DEMOLITION IS TO BE EXECUTED SO AS NOT TO DISTURB EXISTING STRUCTURAL & ROOFING SYSTEMS AND OTHER AREAS THAT ARE INTENDED TO REMAIN INTACT. VERIFY ALL CONSTRUCTION TO BE REMOVED THAT IS NOT INTEGRAL TO STRUCTURAL SYSTEM PRIOR TO DEMOLITION.
- ALL DIMENSIONS SHOWN AS EXISTING SHOULD BE FIELD VERIFIED BY CONTRACTOR PRIOR TO DEMOLITION. VERIFY ALL DEMOLITION WORK IN NEW CONSTRUCTION & INSTALLATION DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.
- DEMOLITION CONTRACTOR TO COORDINATE & REVIEW ALL CONSTRUCTION DOCUMENTS & DETERMINE THE EXTENT OF DEMOLITION WORK & BECOME FAMILIAR WITH THEM THOROUGHLY BEFORE PERFORMING ANY DEMOLITION WORK. BY THE ACT OF STARTING DEMOLITION, THE CONTRACTOR WILL BE DEEMED TO HAVE COMPLIED WITH THE FOREGOING TO HAVE ACCEPTED SUCH CONDITIONS, AND TO HAVE MADE THE NECESSARY ALLOWANCES IN PREPARING HIS BID.
- ELECTRICAL DEMOLITION NOTE: REFER TO ELECTRICAL DRAWINGS FOR DETAILED ELECTRICAL DEMOLITION NOTES.
- VERIFY DISPOSITION OF ALL FURNISHINGS, MILLWORK, LIGHTING FIXTURES, ETC. TO BE REMOVED BY OWNER. ALL ITEMS TO BE DISPOSED SHALL BE DISPOSED OF OFF-SITE AND IN AN EXPEDITIOUS MANNER.
- ROOFING CONTRACTOR TO FIELD INSPECT EXISTING ROOF FOR WEATHER TIGHTNESS & PROPER DRAINAGE PRIOR TO BID. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING ROOF CONDITION AND FOR INCLUDING ANY NECESSARY REPAIR COSTS IN BID.
- SAWCUT & REMOVE EXISTING SLABS AS REQUIRED FOR UNDERGROUND ELECTRICAL & PLUMBING LINES. REFER TO PLUMBING, ELECTRICAL & KITCHEN DRAWINGS FOR ALL SAWCUTS & TRENCHING WORK REQUIRED. ALL CONCRETE FLOOR WORK TO BE FINISHED FLUSH WITH EXISTING FLOOR. DOWEL NEW SLABS TO EXISTING W/ #4 REBAR @ 24" O.C. EACH SIDE (STAGGERED). REBAR TO EXTEND 6" INTO EXISTING SLAB & ACROSS CUT OPENING. SECURE REBAR INTO EXISTING SLAB W/ EPOXY GROUT. REPLACE OR REPAIR ANY VAPOR BARRIERS DISTURBED DURING EXCAVATIONS.
- CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING AS REQUIRED TO MAINTAIN STRUCTURAL STABILITY OF THE EXISTING STRUCTURE DURING ALL PHASES OF CONSTRUCTION.
- PROTECT FROM DAMAGE DURING CONSTRUCTION ALL EXISTING WALLS, FLOORS, CEILINGS, ETC. THAT ARE TO REMAIN. CONTRACTOR TO PATCH & REPAIR ANY DAMAGED PORTIONS OF THE EXISTING BUILDING AS REQUIRED TO MATCH THE EXISTING ADJACENT CONSTRUCTION & FINISHES.
- WHEN UTILITIES ARE REMOVED, CAP & SEAL A MINIMUM OF 6" BELOW FINISH FLOOR OR A MINIMUM OF 6" ABOVE FINISH CEILING.
- THIS PLAN INDICATES A GENERAL SCOPE OF WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR TO COMPLETE THE BUILDING MODIFICATIONS AS SHOWN AND REQUIRED BY THE CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITED TO PLUMBING, ELECTRICAL & HVAC WORK.
- IF CONTRACTOR ENCOUNTERS ANY HAZARDOUS MATERIALS DURING DEMOLITION OR CONSTRUCTION, HE SHALL IMMEDIATELY SUSPEND WORK & NOTIFY THE McDONALD'S PROJECT MANAGER BEFORE PROCEEDING.
- ALL DEMOLITION SHALL BE CARRIED OUT IN A SAFE MANNER & IN STRICT ACCORDANCE WITH OSHA REGULATIONS.
- THE SUB-CONTRACTOR SHALL FIELD VERIFY THE EXTENT OF DEMOLITION. THE WORK INCLUDES, BUT IS NOT LIMITED TO THE DEMOLITION AND REMOVAL OF ANY WALLS, COUNTERTOPS, FURNITURE, BULKHEADS, DOORS, PLUMBING, MECHANICAL AND ELECTRICAL ITEMS INCLUDING CONDUITS AND DUCTWORK AS SHOWN ON THE DRAWINGS OR AS REQUIRED TO COMPLETE THE INSTALLATION OF THE NEW WORK FOR A COMPLETE JOB.
- REMOVE ANY SINKS, WATER CLOSETS, URINALS, LAVATORIES, FLOOR DRAINS, NOTED ON DRAWINGS AS WELL AS ALL ASSOCIATED PLUMBING ACCESSORIES, CAP, PLUS ALL ABANDONED SUPPLY & WASTE LINES. PATCH & SEAL ALL FLOOR PENETRATIONS. SEE MECHANICAL & PLUMBING DRAWINGS FOR DETAILED DEMOLITION NOTES.
- ELEVATION HEIGHTS SHOWN ARE FOR REFERENCE ONLY.
- CONTRACTOR RESPONSIBLE TO ENSURE ALL NEW FINISHES IN RESTROOMS WILL NOT REDUCE REQUIRED CLEARANCES FOR ACCESSIBILITY. REFRAME WALLS AS NECESSARY TO ENSURE ALL CLEARANCES ARE MET.

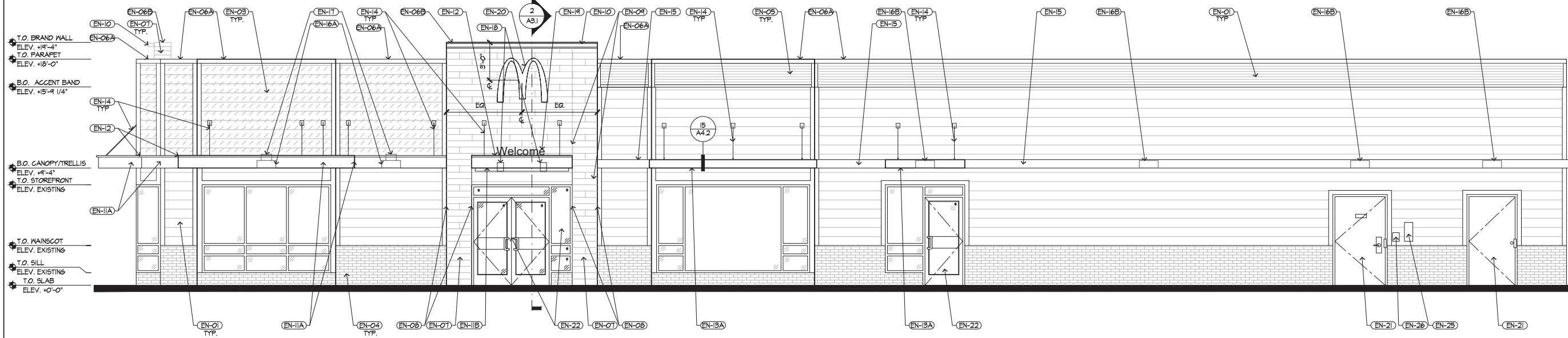
PREPARED BY:	© 2018 McDonald's USA, LLC	
DRAWN BY:	M. McDonald's USA, LLC	
STD ISSUE DATE:	MAR 2017	
REVIEWED BY:	JLT	
DATE ISSUED:	JUL 2018	
DESCRIPTION:	2018 MRP REMODEL CORE 16	
DMU WALLS		
STEEL JOISTS ROOF FRAME		
BRICK MAINSCOT AND LAP SIDING EXTERIOR FINISH		
SITE ADDRESS:	2807 78TH STREET MERCER ISLAND WA, 98040	
46-0200		
TITLE:	A18-338 - #11027	
SHEET NO.:	D1.3	
	DEMO ELEVATIONS	
REV	DATE	DESCRIPTION
-	8/01/2018	LEGAL CLEARANCE
-		STORMWATER REVIEW SUBMITTAL
		FHA
		FHA
		BY



- T.O. BRAND MALL  
ELEV. +18'-4"
- T.O. PARAPET  
ELEV. +18'-0"
- B.O. ACCENT BAND  
ELEV. +15'-4 1/4"
- B.O. DT TRELLIS  
ELEV. +10'-11"
- B.O. CANOPY  
ELEV. +4'-4"
- T.O. STOREFRONT  
ELEV. EXISTING
- T.O. MAINSCOT  
ELEV. EXISTING
- T.O. SILL  
ELEV. EXISTING
- T.O. SLAB  
ELEV. +0'-0"



1 WEST ELEVATION  
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES

- EN-01 NEW CEMENT BOARD LAP SIDING PER FINISH SCHEDULE, THIS SHEET. COLOR: BASE BUILDING. SEE SHEET A4.0 FOR TYPICAL DETAILS.
- EN-02 NEW CEMENT BOARD LAP SIDING PER FINISH SCHEDULE, THIS SHEET. COLOR: ACCENT COLOR. SEE SHEET A4.0 FOR TYPICAL DETAILS.
- EN-03 NEW CEMENT BOARD LAP SIDING PER FINISH SCHEDULE, THIS SHEET. COLOR: ABOVE CANOPY FINISH. SEE SHEET A4.0 FOR TYPICAL DETAILS.
- EN-04 EXISTING BRICK MAINSCOT TO REMAIN.
- EN-05 NEW PARAPET ACCENT BAND PER COLOR LEGEND, THIS SHEET.
- EN-06 METAL FASCIA (COLOR: CITYSCAPE). A: PRE-FAB ANCHOR-TITE; B: PRE-FAB CUSTOM ARCADE FASCIA.
- EN-07 TILE - SEE COLOR LEGEND, THIS SHEET. CONTACT: JAN DETER, (714) 937-7500.
- EN-08 OUTSIDE CORNER STRIPS. RONDEC RO/OOTSDA (DARK ANTHRACITE) ALUMINUM, 10MM.
- EN-09 MOVEMENT JOINT: DILEX BMB10065 (BLACK).
- EN-10 ACCENT LIGHTING (ARCADE LIGHT) - SEE ELECTRICAL.
- EN-11 12" HIGH ALUMINUM CANOPY FASCIA BAND (COLOR: WHITE) ON ALUMINUM TRELLIS SYSTEM (COLOR: WHITE) A: NO UNDERSCORE, B: GOLD UNDERSCORE.
- EN-12 ACCENT LIGHTING (INTEGRAL CANOPY LIGHT) - SEE ELECTRICAL.
- EN-13 ALUMINUM TRELLIS. A: COLOR: CITYSCAPE. B: COLOR: CHARCOAL WITH GOLD UNDERSCORE.
- EN-14 ALUMINUM TRELLIS TIE-BACK SYSTEM. COLOR: CHARCOAL.
- EN-15 ALUMINUM TRELLIS 2"x8" MALL FASCIA.
- EN-16 LIGHT FIXTURE (MALL SCENZE) - SEE ELECTRICAL. A: DOWN ONLY FIXTURE (COLOR: WHITE) B: DOWN ONLY FIXTURE (COLOR: SILVER).
- EN-17 ACCENT LIGHTING (FLOOD LIGHT) - SEE ELECTRICAL.
- EN-18 LIGHT FIXTURE (RECESSED DOWN, INTEGRAL CANOPY). COLOR: SILVER -SEE ELECTRICAL.
- EN-19 METAL LETTERING - BY OTHERS. (WELCOME - COLOR: SILVER)
- EN-20 McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.
- EN-21 HOLLOW METAL DOOR & FRAME - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL.
- EN-22 NEW STOREFRONT TO MATCH EXISTING PER SCHEDULE (10' MIN. BOTTOM STYLE # DOORS).
- EN-23 (RM4C) COIN COLLECTOR. SEE DETAIL 12/A4.3
- EN-24 EXISTING RAIN LEADER TO REMAIN. MODIFY AS NECESSARY TO ACCOMMODATE NEW CONSTRUCTION. PAINT TO MATCH ADJACENT FINISH.
- EN-25 EXISTING CO2 FILL BOX TO REMAIN.
- EN-26 EXISTING BULK OIL FILL BOX TO REMAIN.
- EN-27 NOT USED.
- EN-28 GUARD RAIL - PAINT TO MATCH SURROUNDING MATERIAL.
- EN-29 PIPE BOLLARD PER SITE PLAN. FINISH WITH (2) COATS TRAFFIC YELLOW.
- EN-30 EXISTING GAS METER ASSEMBLY TO REMAIN.
- EN-31 EXISTING ELECTRICAL METER ASSEMBLY TO REMAIN.
- EN-32 NEW READY ACCESS DRIVE THRU WINDOW TO MATCH EXISTING PER PLAN & SCHEDULE.

ELEVATION GENERAL NOTES

1. FASCIA SIGN WALL SUPPORTS TO BE VERIFIED WITH McDONALD'S AREA CONSTRUCTION MANAGER AND COORDINATED WITH SIGN MANUFACTURER.
2. \*\* \* DENOTES SAFETY GLAZING.
3. TRASH ENCLOSURE & GATES (NOT SHOWN) TO RECEIVE NEW SIDING TO MATCH BUILDING & BE PAINTED 'BASE BUILDING' COLOR.

COLOR LEGEND

- BRAND MALLS: TILE: EUROWEST; E-WOOD COLLECTION R4 BLACK; SIZE: 6" X 36", PATTERN: 1/4 OFFSET RUNNING BOND WATERPROOFING & SETTING MATERIAL GROUT: BY MAPEI GROUT COLOR: ULTRA COLOR PLUS - 4T CHARCOAL GROUT WIDTH: 1/8" TO 3/16" ACCESSORIES: SCHLUTER SYSTEMS CONTACT EARL MAIGUS 518.324.3410 CORNER TRIM: RONDEC RO/OOTSDA DARK ANTHRACITE ALUMINUM, 10MM MOVEMENT JOINT: DILEX BMB10065 BLACK
- ACCENT BAND: METAL-ERA CORRUGATED 7/8" 3" PANEL 24 GAUGE; COLOR: CITYSCAPE
- LAP SIDING: JAMES HARDIE CEMENT BOARD LAP SIDING, MATCH EXISTING EXPOSURE & FINISH.
- BASE BUILDING: "FAIRVIEW TAUPE" BENJAMIN MOORE #4C-85
- ACCENT COLOR: "IRON MOUNTAIN" BENJAMIN MOORE #2184-30
- ABOVE CANOPY FINISH: FIBER CEMENT SIDING NICHHA VINTAGE WOOD COLLECTION CEDAR

PREPARED BY: M. McDonald's USA, LLC

© 2018 McDonald's USA, LLC

McDonald's USA, LLC

These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared by the architect and shall not be used for any other project. Use of these drawings for reference or example on another project requires the written consent of the architect. The architect's responsibility is not to be construed as a warranty or guarantee of any kind.

DATE ISSUED: JUL 2018

REVIEWED BY: JLT

STD ISSUE DATE: MAR 2017

DRAWN BY: JLT

TITLE: 2018 MRP REMODEL CORE 16

DESCRIPTION: STEEL JOISTS ROOF FRAME BRICK MAINSCOT AND LAP SIDING EXTERIOR FINISH

SHEET NO. A2.0 ELEVATIONS

46-0200 2807 78TH STREET MERCER ISLAND WA, 98040

REV DATE DESCRIPTION

1 8/10/2018 LEGAL CLEARANCE

2 8/10/2018 LEGAL CLEARANCE

3 8/10/2018 LEGAL CLEARANCE

4 8/10/2018 LEGAL CLEARANCE

5 8/10/2018 LEGAL CLEARANCE

6 8/10/2018 LEGAL CLEARANCE

7 8/10/2018 LEGAL CLEARANCE

8 8/10/2018 LEGAL CLEARANCE

9 8/10/2018 LEGAL CLEARANCE

10 8/10/2018 LEGAL CLEARANCE

11 8/10/2018 LEGAL CLEARANCE

12 8/10/2018 LEGAL CLEARANCE

13 8/10/2018 LEGAL CLEARANCE

14 8/10/2018 LEGAL CLEARANCE

15 8/10/2018 LEGAL CLEARANCE

16 8/10/2018 LEGAL CLEARANCE

17 8/10/2018 LEGAL CLEARANCE

18 8/10/2018 LEGAL CLEARANCE

19 8/10/2018 LEGAL CLEARANCE

20 8/10/2018 LEGAL CLEARANCE

21 8/10/2018 LEGAL CLEARANCE

22 8/10/2018 LEGAL CLEARANCE

23 8/10/2018 LEGAL CLEARANCE

24 8/10/2018 LEGAL CLEARANCE

25 8/10/2018 LEGAL CLEARANCE

26 8/10/2018 LEGAL CLEARANCE

27 8/10/2018 LEGAL CLEARANCE

28 8/10/2018 LEGAL CLEARANCE

29 8/10/2018 LEGAL CLEARANCE

30 8/10/2018 LEGAL CLEARANCE

31 8/10/2018 LEGAL CLEARANCE

32 8/10/2018 LEGAL CLEARANCE

33 8/10/2018 LEGAL CLEARANCE

34 8/10/2018 LEGAL CLEARANCE

35 8/10/2018 LEGAL CLEARANCE

36 8/10/2018 LEGAL CLEARANCE

37 8/10/2018 LEGAL CLEARANCE

38 8/10/2018 LEGAL CLEARANCE

39 8/10/2018 LEGAL CLEARANCE

40 8/10/2018 LEGAL CLEARANCE

41 8/10/2018 LEGAL CLEARANCE

42 8/10/2018 LEGAL CLEARANCE

43 8/10/2018 LEGAL CLEARANCE

44 8/10/2018 LEGAL CLEARANCE

45 8/10/2018 LEGAL CLEARANCE

46 8/10/2018 LEGAL CLEARANCE

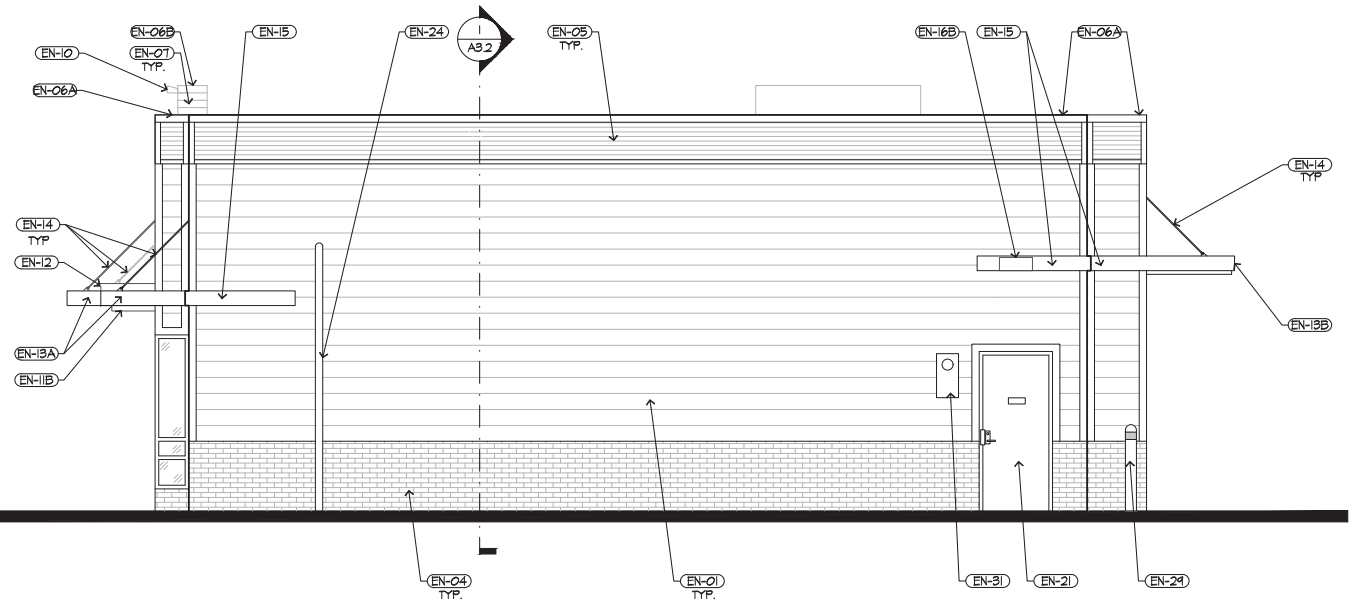
47 8/10/2018 LEGAL CLEARANCE

48 8/10/2018 LEGAL CLEARANCE

49 8/10/2018 LEGAL CLEARANCE

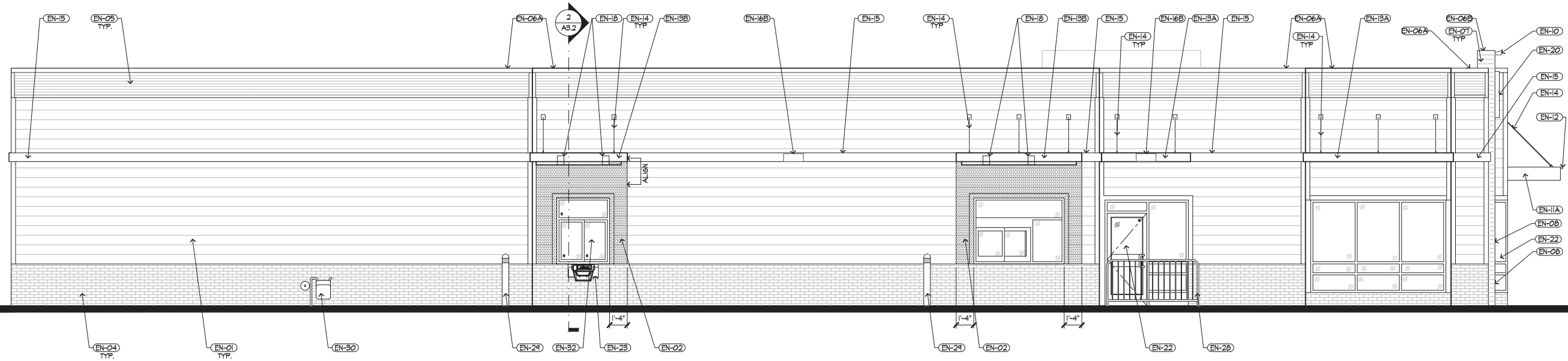
50 8/10/2018 LEGAL CLEARANCE

- T.O. BRAND MALL  
ELEV. +11'-4"
- T.O. PARAPET  
ELEV. +10'-0"
- B.O. ACCENT BAND  
ELEV. +5'-4 1/4"
- B.O. DT TRELLIS  
ELEV. +10'-11"
- B.O. CANOPY/TRELLIS  
ELEV. +4'-4"
- T.O. STOREFRONT  
ELEV. EXISTING
- T.O. MAINSCOT  
ELEV. EXISTING
- T.O. SILL  
ELEV. EXISTING
- T.O. SLAB  
ELEV. +0'-0"



1 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

- T.O. BRAND MALL  
ELEV. +11'-4"
- T.O. PARAPET  
ELEV. +10'-0"
- B.O. ACCENT BAND  
ELEV. +5'-4 1/4"
- B.O. DT TRELLIS  
ELEV. +10'-11"
- B.O. CANOPY  
ELEV. +4'-4"
- T.O. STOREFRONT  
ELEV. EXISTING
- T.O. MAINSCOT  
ELEV. EXISTING
- T.O. SLAB  
ELEV. +0'-0"



2 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES

- (EN-01) NEW CEMENT BOARD LAP SIDING PER FINISH SCHEDULE, THIS SHEET. COLOR: BASE BUILDING. SEE SHEET A4.0 FOR TYPICAL DETAILS.
- (EN-02) NEW CEMENT BOARD LAP SIDING PER FINISH SCHEDULE, THIS SHEET. COLOR: ACCENT COLOR. SEE SHEET A4.0 FOR TYPICAL DETAILS.
- (EN-03) NEW CEMENT BOARD LAP SIDING PER FINISH SCHEDULE, THIS SHEET. COLOR: ABOVE CANOPY FINISH. SEE SHEET A4.0 FOR TYPICAL DETAILS.
- (EN-04) EXISTING BRICK MAINSCOT TO REMAIN.
- (EN-05) NEW PARAPET ACCENT BAND PER COLOR LEGEND, THIS SHEET.
- (EN-06) METAL FASCIA (COLOR: CITYSCAPE). A: PRE-FAB ANCHOR-TITE; B: PRE-FAB CUSTOM ARCADE FASCIA.
- (EN-07) TILE - SEE COLOR LEGEND, THIS SHEET. CONTACT: JAN DETER, (714) 937-7500.
- (EN-08) OUTSIDE CORNER STRIPS. RONDEC RO100TSDA (DARK ANTHRACITE) ALUMINUM, 10MM.
- (EN-09) MOVEMENT JOINT: DILEX BMB10066 (BLACK).
- (EN-10) ACCENT LIGHTING (ARCADE LIGHT) - SEE ELECTRICAL.
- (EN-11) 12" HIGH ALUMINUM CANOPY FASCIA BAND (COLOR: WHITE) ON ALUMINUM TRELLIS SYSTEM (COLOR: WHITE) A: NO UNDERSCORE, B: GOLD UNDERSCORE.
- (EN-12) ACCENT LIGHTING (INTEGRAL CANOPY LIGHT) - SEE ELECTRICAL.
- (EN-13) ALUMINUM TRELLIS. A: COLOR: CITYSCAPE. B: COLOR: CHARCOAL WITH GOLD UNDERSCORE.
- (EN-14) ALUMINUM TRELLIS TIE-BACK SYSTEM. COLOR: CHARCOAL.
- (EN-15) ALUMINUM TRELLIS 2"x8" WALL FASCIA.
- (EN-16) LIGHT FIXTURE (WALL SCENCE) - SEE ELECTRICAL. A: DOWN ONLY FIXTURE (COLOR: WHITE) B: DOWN ONLY FIXTURE (COLOR: SILVER).
- (EN-17) ACCENT LIGHTING (FLOOD LIGHT) - SEE ELECTRICAL.
- (EN-18) LIGHT FIXTURE (RECESSED DOWN, INTEGRAL CANOPY). COLOR: SILVER - SEE ELECTRICAL.
- (EN-19) METAL LETTERING - BY OTHERS. (WELCOME - COLOR: SILVER)
- (EN-20) MCDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.
- (EN-21) HOLLOW METAL DOOR & FRAME - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL.
- (EN-22) NEW STOREFRONT TO MATCH EXISTING PER SCHEDULE (10' MIN. BOTTOM STILE @ DOORS).
- (EN-23) (RMHC) COIN COLLECTOR. SEE DETAIL 12/A4.3
- (EN-24) EXISTING RAIN LEADER TO REMAIN. MODIFY AS NECESSARY TO ACCOMMODATE NEW CONSTRUCTION. PAINT TO MATCH ADJACENT FINISH.
- (EN-25) EXISTING CO2 FILL BOX TO REMAIN.
- (EN-26) EXISTING BULK OIL FILL BOX TO REMAIN.
- (EN-27) NOT USED.
- (EN-28) GUARD RAIL - PAINT TO MATCH SURROUNDING MATERIAL.
- (EN-29) PIPE BOLLARD PER SITE PLAN. FINISH WITH (2) COATS TRAFFIC YELLOW.
- (EN-30) EXISTING GAS METER ASSEMBLY TO REMAIN.
- (EN-31) EXISTING ELECTRICAL METER ASSEMBLY TO REMAIN.
- (EN-32) NEW READY ACCESS DRIVE THRU WINDOW TO MATCH EXISTING PER PLAN & SCHEDULE.

ELEVATION GENERAL NOTES

1. FASCIA SIGN WALL SUPPORTS TO BE VERIFIED WITH MCDONALD'S AREA CONSTRUCTION MANAGER AND COORDINATED WITH SIGN MANUFACTURER.
2. \* \* \* DENOTES SAFETY GLAZING.
3. TRASH ENCLOSURE & GATES (NOT SHOWN) TO RECEIVE NEW SIDING TO MATCH BUILDING & BE PAINTED "BASE BUILDING" COLOR.

COLOR LEGEND

BRAND WALLS:	TILE: EUROWEST; E-WOOD COLLECTION R9 BLACK; SIZE: 6" X 36", PATTERN: 1/4 OFFSET RUNNING BOND WATERPROOFING & SETTING MATERIAL GROUT: BY MAPEI GROUT COLOR: ULTRA COLOR PLUS - 4T CHARCOAL GROUT WIDTH: 1/8" TO 3/16" ACCESSORIES: SCHLUTER SYSTEMS CONTACT EARL MAIGUS 518.324.3410 CORNER TRIM: RONDEC RO100TSDA DARK ANTHRACITE ALUMINUM, 10MM MOVEMENT JOINT: DILEX BMB10066 BLACK
ACCENT BAND:	METAL-ERA CORRUGATED 7/8" 3" PANEL 24 GAUGE; COLOR: CITYSCAPE
LAP SIDING:	JAMES HARDIE CEMENT BOARD LAP SIDING, MATCH EXISTING EXPOSURE & FINISH.
BASE BUILDING:	"FAIRVIEW TAUPÉ" BENJAMIN MOORE #HC-85
ACCENT COLOR:	"IRON MOUNTAIN" BENJAMIN MOORE #2184-30
ABOVE CANOPY FINISH:	FIBER CEMENT SIDING NICHINA VINTAGE WOOD COLLECTION CEDAR

DRAWN BY: MCDONALD'S USA, LLC  
 PREPARED FOR: MCDONALD'S USA, LLC  
 TITLE: 2018 MRP REMODEL CORE 16  
 SHEET NO.: A2.1 ELEVATIONS  
 DATE ISSUED: MAR 2017  
 DATE ISSUED: JUL 2018  
 SITE ADDRESS: 2807 78TH STREET MERCER ISLAND WA, 98040  
 46-0200

FREIHEIT ARCHITECTURE  
 © 2018 McDonald's USA, LLC  
 These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the approval of the architect and the engineer. The use of these drawings on any other project is not authorized.

REV	DATE	DESCRIPTION
1	8/10/2018	LEGAL CLEARANCE
2		









Welcome

McDelivery  
new available at  
UBER  
EATS

A large advertisement for McDelivery on Uber Eats is displayed in the drive-thru window. It features a photo of a meal and the text 'McDelivery new available at UBER EATS'.









Drive-Thru  
Clearance 9 Feet

Drive-Thru  
Clearance 9 Feet









Please review your order below.

**Breakfast Choices**

- 1 Egg McMuffin® 339 | 390 Cal
- 5 Sausage McMuffin with Egg 5.99 | 680-840 Cal | 8.99 | 950 Cal
- 6 Sausage McMuffin with Egg 5.99 | 680-840 Cal | 8.99 | 950 Cal

**Crafted McCafés**

- 1 Cold Caramel Macchiato 3.99 | 290 Cal
- 1 Americano 2.99 | 200 Cal

**Breakfast Choices**

- Fruit & Maple Oatmeal 2.99 | 390 Cal
- Fruit 'n' Yogurt Parfait 1.99 | 350 Cal
- Hot Browns 1.49 | 250 Cal

**Homestyle Breakfasts**

- Big Breakfast™ with Hot Cakes 3.99 | 590 Cal
- Hot Cakes with Sausage 4.99 | 790 Cal
- 3 Hot Cakes 3.99 | 590 Cal

**Sip to a great morning.**

**Ice-Cold Drinks**

- Soft Drink 1.00 | 260 Cal
- Sweet Tea 1.00 | 300 Cal
- House-Made™ Premium Orange Juice 1.99 | 300 Cal

**Everyday Value**

- Hot Browns 1.49 | 250 Cal
- Hot Coffee 1.19 | 100 Cal
- Sausage McMuffin 1.49 | 390 Cal
- Sausage McMuffin 1.49 | 390 Cal
- 2 Hot Cakes 1.99 | 390 Cal
- Fruit 'n' Yogurt Parfait 1.99 | 350 Cal

**\$1 \$2 \$3 Dollar Menu**

- 1 Sausage Burrito 300 Cal
- Any Small Soft Drink 50-200 Cal
- 2 Sausage McMuffins 430 Cal
- 2 Small McCafés 3.99-5.99 Cal
- 3 Sausage McMuffins with Egg 470 Cal

**Better breakfast, any way you crack it.**

Made with a freshly cracked egg.

Egg McMuffin® Meal 5.99 | 690 Cal

**Order**

1 Egg McMuffin 1.01.00

1 Sausage McMuffin 1.41.49

1 Hot Coffee 1.41.49

Tax 40.41

**Total 4.39**



**McDelivery**

has arrived

McDelivery | UBER EATS





# McDonald's

### Mornings made better

Bacon, Egg & Cheese McGriddles  
Bacon, Egg & Cheese Biscuit  
Sausage McMuffin with Egg



### Smooth. Creamy. Delivered.

McDelivery | with oats

Hot Brewed Protein Coffee  
Cold Brew Protein



### Better breakfast, any way you crack it

Made with a freshly cracked egg.



Egg McMuffin® Meal

### Treat yourself sweet

Dipped Cone \$1.69  
Berry's McFlurry \$2.99  
Frozen Strawberry Lemonade \$2.99

### More choices, more smiles

\$1 Any Size Soft Drink	\$1.00 Strawberry & Extreme Pie
2 for \$4 Medium Fries	2 for \$2 Hash Browns



**WISDOMNESS**  
OR FRUIT

LE SLICES

See which you prefer here







29682

Order Here

Order Here

**Combo Meals**

1	2	3
4	5	6
7	8	9
10		

**Signature Crafted Recipes**

**McCafé**

**All Day Breakfast**

**Fries, Sides & More**

**Sweets & Treats**

**Beverages**

**Happy Meal**

**new** Sweet N' Spicy Money BBQ Glazed Tenders

\$1 ea

LEXUS



11/8/2018

18-338 Mercer Island

**Questions for Design Review**

- Are any of the materials we are using on the building against Mercer Island's design guidelines?
  - Is the accent painted corrugated metal parapet band okay?
- Is the color scheme preferable?
- We revised the amount of wall signage per the pre-application's meeting's direction. Does the amount we are currently showing acceptable?
- Is the amount of glazing on the building preferable?
- We are showing a gateway, pre-browse digital menu board, order canopy and digital menu board in the drive thru. Are there any restrictions regarding these structures and menu boards? Are these to be included on the sign permit or would they be a separate sign or building permits.
  - It appears that the sign code does not directly address the menu boards. They occasionally change menu information at a sedate rate. They are in the drive thru and away from street view.
  - The gateway sign is a structure and sign that directs customers to the drive thru. It is also a safety item that prevents cars that are too large from entering the drive thru. (See parking lot signs – safety, identification & direction)
  - The canopy is where the customer places their order. It also protects the driver as they roll down their window in case of heavy rain.