



## DESIGN COMMISSION REGULAR MEETING AGENDA

Wednesday, November 14, 2018  
Mercer Island City Hall

### DESIGN COMMISSIONERS

Colin Brandt, Vice Chair  
Richard Erwin, Chair  
Anthony Perez  
Hui Tian  
Suzanne Zahr  
Claire McPherson  
Tom Soeprono

PHONE: 206-275-7729  
WEB: [www.mercergov.org](http://www.mercergov.org)

### CALL TO ORDER & ROLL CALL

7:00 PM

### APPROVAL OF MINUTES

Minutes from September 26, 2018

### REGULAR BUSINESS

#### Agenda Item #1: DSR18-004

Second design review study session for a new office building (East Seattle Partners) in Town Center.

Staff Contact: Robin Proebsting, Senior Planner

#### Agenda Item #2: DSR18-018

Design review study session for a new mixed-use building at the "King" and Mud Bay properties in Town Center.

Staff Contact: Nicole Gaudette, Senior Planner

### OTHER BUSINESS

Planned Absences for Future Meetings  
Announcements & Communications  
Next Scheduled Meeting: November 28, 2018 at 7:00PM

### ADJOURN



# DESIGN COMMISSION SPECIAL MEETING MINUTES SEPTEMBER 26, 2018

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## CALL TO ORDER

Vice Chair Colin Brandt called the meeting to order at 7:05 PM in the Council Chambers, 9611 SE 36th Street, Mercer Island, Washington.

## ROLL CALL

Vice Chair Colin Brandt, Commissioners Claire McPherson, Anthony Perez, Tom Soeprono and Suzanne Zahr were present. Chair Richard Erwin and Commissioner Hui Tian were absent.

## STAFF PRESENT

Nicole Gaudette, Senior Planner, Andrea Larson, Senior Administrative Assistant, Andrew Leon, Planner; and Bio Park, Assistant City Attorney were present.

## SPECIAL BUSINESS

The Commission welcomed Commissioners McPherson and Soeprono.

## MEETING MINUTES APPROVAL

The Commission reviewed the minutes from the July 11, 2018.

It was moved by Perez; seconded by Zahr to:

**Approved the July 11, 2018 minutes**

Passed 3-0-1

Commissioners Soeprono abstained

## REGULAR BUSINESS

### Agenda Item #1: Design Review DSR2018-012

Andrew Leon, Planner, provided a brief presentation for the Osteo Strong window signs at Island Market Square in Town Center

Steve Zamberlin, Nation Sign Corporation, gave a brief presentation and answered questions regarding the proposed signs.

The commission requested that the applicant provide written approval of the amendment to the sign plan. The applicant agreed to this request.

The Design Commission reviewed the wall signs.

It was moved by Zahr; seconded by McPherson to:

**Grant National Sign Corporation design approval for a retail tenant location in the Town Center located at 7803 SE 27<sup>th</sup> St., as shown in Exhibits 1 and 2, and to approve an amendment to the Island Square Master Sign Plan (Exhibit 5) per the applicant's submittal package, provided the window signage will meet current standards in the Mercer Island City Code, subject to the following conditions and further conditioned as follows:**

- 1. All aspects of the proposed sign shall be consistent with the detail information submitted with this application (i.e. elevations, perspective drawings, colors, materials, font, size of the lettering and relationship and layout of the approved wording and graphics), as depicted by Exhibits 1 and 2.**
- 2. If required, the applicant shall apply for and obtain a building permit from the City of Mercer Island prior to installation of the signs.**
- 3. If a building permit is required and the applicant has not submitted a complete application for a**

building permit within two years from the date of this notice, or within two years from the decision on appeal from the final design review decision, design review approval shall expire. The Code Official may grant an extension for no longer than 12 months, for good cause shown, if a written request is submitted at least 30 days prior to the expiration date.

4. Applicant shall provide the City with written landlord approval of the amendment to the Master Sign Plan.

Vote passed 6-0-0

#### **PLANNED ABSENCES FOR FUTURE MEETINGS**

Commissioner on Soeporno will be absent on November 14, 2018. Commissioner Perez will be absent on October 24, 2018.

#### **OTHER BUSINESS**

Nicole Gaudette, Senior Planner, gave the commission a brief overview of the recent code amendments that changed the process for certain approvals and were approved by the City Council.

#### **ANNOUNCEMENTS AND COMMUNICATIONS**

The next Design Commission meeting is on October 10, 2018 at 7:00PM.

**ADJOURNMENT** The meeting was adjourned at 7:50pm

DRAFT

# Design Commission Design Review

## Study Session Staff Report

November 14, 2018

<b>Project No:</b>	DSR18-004
<b>Brief Description:</b>	Study Session
<b>Location:</b>	2856 80 <sup>th</sup> Ave SE Mercer Island WA 98040; Identified by King County Tax Parcel #5452300540
<b>Applicant:</b>	Scot Carr, PUBLIC47 Architects
<b>Staff Contact:</b>	Robin Proebsting, Senior Planner

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### 1. Introduction

The applicant has requested a second study session with the Design Commission to confirm that design updates have been made consistent with previous Design Commission guidance provided at the April 11, 2018 study session; and obtain guidance on new questions, pertaining to materials and color, street standards, minor site features and building design.

The site is located at 2856 80th Ave SE, which is the northeast corner of SE 30th St and 80th Ave SE. The site slopes downward from east to west and is currently occupied by a two-story office building and surface parking lot. The subject property is located on the eastern edge of the Town Center zone, is zoned TC-3, and abuts WSDOT Right-of-Way along its eastern property line.

This project will require design review and approval by the Design Commission prior to issuance of any construction permits. Following completion of this study session and receipt of an application for design review, an open record public hearing in front of the Design Commission will be scheduled pursuant to MICC 19.15.220(C)(2). The project is subject to the criteria in MICC Section 19.11, Town Center.

### 2. Staff Analysis and Criteria for Review

Pursuant to MICC 19.15.220(C)(2), the applicant shall meet with the Design Commission in a study session to discuss project concepts before the plans are fully developed. The applicant previously fulfilled this requirement by meeting with the Design Commission in a study session on April 11, 2018. The applicant has elected to have a second study session in order to obtain guidance on aspects of design for which there is flexibility in the code standards, subject to review and approval by the Design Commission.

The applicant submitted a list of questions (Exhibit 2), which requests Design Commission feedback on three aspects of the project design. These questions are listed below, followed by staff analysis in italicized text.

1. Applicant Question #1: Do the proposed exterior materials meet the intent of MICC 19.11.110 - Materials and Color?

**Staff analysis:** *MICC 19.11.110 sets criteria for the materials and color that may be used on the exterior of buildings in Town Center, as well as the way in which materials and color should be used. The proposed use of materials and color (see Exhibit 3, sheets 10-11) appear to meet the relevant criteria, based on the analysis below:*

<b>Standard</b>	<b>How addressed:</b>
1. Building Exteriors. Building exteriors should be constructed from high quality and durable materials. It is important that the materials and colors weather well and that building exteriors need minimal maintenance.	<i>The building is proposed to use high quality, durable materials like brick, treated concrete, and wood, consistent with this criterion.</i>
2. Regional Focus. Materials and colors should reflect the city's regional setting.	<i>The material choice and building design evoke a northwest modern look and feel, reflecting Mercer Island's regional setting.</i>
3. Attention to All Sides. Materials and colors should be used with cohesiveness and compatibility on all sides of a building.	<i>The proposed materials and colors are compatible with each other and provide a cohesive design on all sides of the building.</i>
4. Concrete Walls. Concrete walls should be architecturally treated. The treatment may include textured concrete such as exposed aggregate, sand blasting, stamping or color coating.	<i>All concrete walls are architecturally treated.</i>
5. Harmonious Range of Colors. A harmonious range of colors should be used within the Town Center. Neon or very bright colors, which have the effect of unreasonably setting the building apart from other adjacent buildings on the street, should not be used.	<i>Colors shown in the renderings are harmonious, and do not include neon or very bright colors</i>
6. Bright Colors. Bright colors should be used only for trim and accents if the use is consistent with the building design and other design requirements.	<i>No bright colors are proposed.</i>
7. Undesired Materials. Beveled metal siding, mirrored glass, and vinyl siding should not be used. EIFS, stucco and similar materials should be limited to use as a minor building facade element.	<i>The design does not use any of the materials listed as undesirable.</i>
8. Variation of Materials. A variation of building materials should be used to assist in the creation of a visually interesting experience. (Ord. 16C-06 § 2 (Exh. A)).	<i>The design uses varied materials, including brick, wood, and treated concrete.</i>

2. Applicant Question #2: Is the proposed extension of the second level over the sidewalk consistent with the code?

**Staff analysis:** *At the previous study session on this project in April 2018, the applicant proposed extending the second level of the building roughly 8 feet over the 12-ft wide area required for sidewalk. In response, some Design Commissioners supported the proposed overhang while others expressed discomfort at allowing any part of the building to be closer than 12 ft from the face of the curb. Commissioners also voiced the concern that allowing overhang in the 12 ft setback area could set a precedent, potentially causing unintended consequences for future projects.*

*To address this concern, the applicant has called out features that are unique to this property that would limit the applicability of precedent set by allowing overhang for this building. A combination of three attributes of the site present challenges to the building design: 1) the 25-ft curb radius at the intersection of 80<sup>th</sup> Ave SE and SE 30<sup>th</sup> St; 2) the chamfer corner at the SW corner of the property line; and 3) the comparatively small site of the lot. The applicant contends that the unique combination of these site constraints justifies the proposed building overhang.*

*Further, the applicant has revised the design to set the second level of the building further back from the face of the curb and higher up from the sidewalk area. The ground level of the building is sufficiently set back from the property line to allow for 15 ft 8 in of sidewalk, which is greater than the required 12 feet. The second level of the building will cover approximately 65.5 sq ft of the 12 ft sidewalk area, with the lowest point of the second level being 10 ft 9 in above the sidewalk below. A narrow portion of the second level structure is proposed to extend into the 12 ft sidewalk area, with the window framing projecting further over the sidewalk area, 13 ft 2 in above the sidewalk. Staff conclude that the design is consistent with MICC 19.11.030(A)(6) by providing sufficient space for 12 feet of sidewalk between the structure and the face of the street curb.*

*Lastly, the proposed building overhang fulfills requirements in other sections of MICC 19.11, including:*

- *MICC 19.11.100(B)(1)(c): The upper story maintains an expression line along the façade using a change of material and projection to reduce the perceived building mass.*
- *MICC 19.11.100(B)(6): The building entrance is recessed from the façade surface.*
- *MICC 19.11.100(B)(13): The proposed building overhang provides weather protection.*

3. Applicant Question #3: Does the proposed streetscape design along SE 30<sup>th</sup> St meet the intent of MICC 19.11.120?

**Staff analysis:** *MICC 19.11.120 requires major new construction like the proposed office building to improve abutting streets according the standards in the Mercer Island Town Center Streetscape Manual. Modifications to these standards are allowed, pending the recommendation of the City Engineer, if there are either: 1) unusual topographic or physical conditions, or 2) other unusual circumstances that preclude the construction of the required improvements.*

*One requirement of the Streetscape Manual is to provide street trees in tree grates along the street edge. The applicant has indicated that the site topography and abrupt end of the sidewalk qualify as unusual conditions and has requested a modification to the requirements of the street manual to*

provide: 1) a 5-ft wide planted strip instead of tree grates along SE 30<sup>th</sup> St and 2) a 2-ft planted strip on the building side of the sidewalk within the 12 ft sidewalk area (Exhibit 3, Sheet 18).

The requested modifications proposed to address potential challenges posed by the topography and abrupt sidewalk end by using landscaping to improve pedestrian safety. The 5-ft wide planted strip around the street trees would reduce the risk of slipping on metal tree grates, where the grade is 15%. The planted area also provides a buffer between the sidewalk and vehicular traffic on SE 30<sup>th</sup> St, enhancing pedestrian safety. Lastly, the additional landscaping and reduced sidewalk discourages pedestrian activity in an area where the sidewalk suddenly ends and no safe pedestrian crossing is provided. The City Engineer has indicated he would be supportive of a 5-ft sidewalk and increased landscaping.

4. Applicant Question #4: Do the proposed Minor Site Features meet the intent of MICC 19.11.120 - Site Design?

**Staff analysis:** MICC 19.11.060 requires major new construction to have at least three minor site features. These may be, but are not limited to decorative features like clocks, artwork, drinking fountains, or other items that “create visual focal points that give identity to an area”. The code notes that the minor site features must “contribute to a well-balanced mix of features in that subarea as determined by the design commission.” The applicant proposes four minor site features: 1) custom tree grates, 2) inset bronze letters in the sidewalk displaying current and historic street names, 3) a custom stone slab bench, and 4) sporty bike racks (Exhibit 3, Sheet 20).

All four site features appear to fulfill in the intent and guidance provided in MICC 19.11.060(A). The tree grate would provide an artistic element integrated into required site infrastructure, consistent with the examples of decorative landmarks provided in the relevant code section. The bronze lettering would provide identity to the site and highlight the site’s unique history in the context of Mercer Island, integrated with the public street improvements as encouraged by the code. The stone bench provides usable street furniture and would be congruent with building design, as described by code standard. Lastly, the proposed bike rack would provide bike parking in an area where little is currently provided, contributing to a well-balanced mix of features in the TC-3 subarea.

5. Applicant Question #5: Does the proposed design of north wall meet the intent of MICC 19.11.100 - Walls?

**Staff analysis:** Untreated blank walls, defined as wall over six feet in height and with a horizontal length greater than 15 feet that does not include a transparent window or door, are prohibited by MICC 19.11.100(B)(5). Methods provided by the code to treat blank walls include building detailing that adds visual interest at a pedestrian scale as approved by the design commission. Such building detailing must use a variety of surfaces and not be a monotonous design.

To meet this standard for the north wall, the applicant proposes to use the same mix of building materials proposed for use on the other building elevations and to landscape around the perimeter of the building. There is a portion of the north façade on the second level of the building that is roughly 17 ft in height by approximately 20 ft in width, larger than the size allowed by code to be a blank wall. This portion of the building proposes to use brick, which would provide a patterned, textured surface, meeting the standard in MICC 19.11.100(B)(5)(e) (Exhibit 3, Sheet 22).

### 3. Recommendation

There is no recommended motion at this time, as this is a Design Commission study session.

### 4. Exhibits

1. Development Application Coversheet, signed October 26, 2018
2. List of Questions prepared by Public47 Architects, dated October 26, 2018
3. Plan set prepared by Public47 Architects, dated November 14, 2018



**CITY OF MERCER ISLAND**  
**DEVELOPMENT SERVICES GROUP**  
 9611 SE 36TH STREET | MERCER ISLAND, WA 98040  
 PHONE: 206.275.7605 | [www.mercergov.org](http://www.mercergov.org)



CITY USE ONLY		
PERMIT #	RECEIPT #	FEE
Date Received:		

<b>DEVELOPMENT APPLICATION</b>	Received By:
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STREET ADDRESS/LOCATION 2856 80th Avenue S.E.		ZONE TC-3
COUNTY ASSESSOR PARCEL #S 545230-0540		PARCEL SIZE (SQ. FT.) 6,588-sf
PROPERTY OWNER (required) East Seattle Partners	ADDRESS (required) 2856 80th Ave SE Mercer Island, WA 98040	CELL/OFFICE (required) 206.595.0589 E-MAIL (required) elizabeth@eastseattlepartners.com
PROJECT CONTACT NAME Scot Carr / Danielle Rawson	ADDRESS 232 Aurora Ave S, Suite 200 Seattle, WA 98019	CELL/OFFICE 206 218 8708 / 206 369 9699 E-MAIL scotc@public47.com /
TENANT NAME same as Owner	ADDRESS same as Owner	CELL PHONE same as Owner E-MAIL same as Owner

**DECLARATION:** I HEREBY STATE THAT I AM THE OWNER OF THE SUBJECT PROPERTY OR I HAVE BEEN AUTHORIZED BY THE OWNER(S) OF THE SUBJECT PROPERTY TO REPRESENT THIS APPLICATION AND THAT THE INFORMATION FURNISHED BY ME IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

SIGNATURE 

OCT 26 2018  
DATE

**PROPOSED APPLICATION(S) AND CLEAR DESCRIPTION OF PROPOSAL (PLEASE USE ADDITIONAL PAPER IF NEEDED):**

The proposed project consists of demolishing the existing 2,948-square foot (sf) office building and replacing it with a new 2-story, 10,132-sf office building with 1,226-sf mezzanine, for professional services. Parking for 17 vehicles will be located below grade and accessed from the NW corner of the site, from 80th Ave SE.

ATTACH RESPONSE TO DECISION CRITERIA IF APPLICABLE

**CHECK TYPE OF LAND USE APPROVAL REQUESTED:**

<p><b>APPEALS</b></p> <input type="checkbox"/> Building (+cost of file preparation) <input type="checkbox"/> Code Interpretation <input type="checkbox"/> Land use (+cost of verbatim transcript) <input type="checkbox"/> Right-of-Way Use	<p><b>DEVIATIONS</b></p> <input type="checkbox"/> Changes to Antenna requirements <input type="checkbox"/> Changes to Open Space <input type="checkbox"/> Critical Areas Setback <input type="checkbox"/> Wet Season Construction Moratorium	<p><b>WIRELESS COMMUNICATIONS FACILITIES</b></p> <input type="checkbox"/> Wireless Communications Facilities-6409 Exemption <input type="checkbox"/> New Wireless Communications Facility <b>VARIANCES (Plus Hearing Examiner Fee)</b> <input type="checkbox"/> Type 1** <input type="checkbox"/> Type 2***
<p><b>CRITICAL AREAS</b></p> <input type="checkbox"/> Determination <input type="checkbox"/> Reasonable Use Exception	<p><b>ENVIRONMENTAL REVIEW (SEPA)</b></p> <input type="checkbox"/> Checklist: Single Family Residential Use <input type="checkbox"/> Checklist: Non-Single Family Residential Use <input type="checkbox"/> Environmental Impact Statement	<p><b>OTHER LAND USE</b></p> <input type="checkbox"/> Accessory Dwelling Unit <input type="checkbox"/> Code Interpretation Request <input type="checkbox"/> Comprehensive Plan Amendment (CPA) <input type="checkbox"/> Conditional Use (CUP) <input type="checkbox"/> Lot Line Revision/ Lot Consolidation <input type="checkbox"/> Noise Exception <input type="checkbox"/> Reclassification of Property (Rezoning) <input type="checkbox"/> ROW Encroachment Agreement (requires separate ROW Use Permit) <input checked="" type="checkbox"/> Zoning Code Text Amendment
<p><b>DESIGN REVIEW</b></p> <input type="checkbox"/> Administrative Review <input type="checkbox"/> Design Review- Major <input type="checkbox"/> Design Review – Minor <input checked="" type="checkbox"/> Design Review – Study Session	<p><b>SHORELINE MANAGEMENT</b></p> <input type="checkbox"/> Exemption <input type="checkbox"/> Semi-Private Recreation Tract (modification) <input type="checkbox"/> Semi-Private Recreation Tract (new) <input type="checkbox"/> Substantial Dev. Permit	
<p><b>SUBDIVISION SHORT PLAT</b></p> <input type="checkbox"/> Short Plat <input type="checkbox"/> Short Plat Amendment <input type="checkbox"/> Deviation of Acreage Limitation <input type="checkbox"/> Final Short Plat Approval	<p><b>SUBDIVISION LONG PLAT</b></p> <input type="checkbox"/> Long Plat <input type="checkbox"/> Subdivision Alteration to Existing Plat <input type="checkbox"/> Final Subdivision Review	

\*\*Includes all variances of any type or purpose in all zones other than single family residential zone: B,C-O,PBZ,MF-2,MF2L,MF-2L, MF-3,TC,P)

\*\*\*Includes all variances of any type or purpose in single family residential zone: R-8.4, R-9.6, R-12, R-15)

DESIGN COMMISSION STUDY SESSION QUESTIONS

To: **Robin Proebsting**, Senior Planner, City of MI Mtg Date: November 14, 2018

From: Scot Carr, AIA | PUBLIC47 Date: October 26, 2018  
 Danielle Rawson | PUBLIC47

Subject: 2856 80<sup>th</sup> Avenue, SE Cc: File, owner  
 Mercer Island, WA 98040

Attachments: Design Commission Study Session #2 Packet

ITEM#	QUESTION (CODE SECTION)	REFER TO
1	<b>EXTERIOR MATERIALS (19.11.110)</b> Please confirm proposed exterior materials meets intent of 19.11.110, Materials and Color?	Packet Page 10
2	<b>SETBACKS (19.11.030.A6.b.)</b> Confirm Second Level can extend into 12'-0" minimum sidewalk setback (measured from face of curb per 19.11.030.A6.b.), at 8' and higher above sidewalk, as shown on diagram drawings (pg. 13) along 80 <sup>th</sup> Ave. Note that proposal does not extend beyond PL into ROW, extension provides weather protection at entry, and proposal exceeds 12' minimum on both streets at street level.	Packet Pages 12-15
3	<b>STREET STANDARDS (19.11.120)</b> Per code section 19.11.120. A and D, citing unusual physical conditions and circumstances, the proposal seeks to discourage pedestrian activity along the North side of SE 30th Street because the sidewalk ends at Island Crest Way, where there is not a safe pedestrian street crossing.  The proposal provides a 5' wide planting strip, 5' wide sidewalk, and a 2' wide planting strip, within the required 12' setback. By enhancing the zone of street furnishings and back of sidewalk, with thickened landscaped planted areas, the proposal seeks to safeguard pedestrians from the busy, vehicular-oriented roadway along SE 30th Street and Island Crest Way. This proposal also mediates the risk of slipping on metal tree grates on the 15% grade of the existing sidewalk. This additional planting area also helps to fulfill LEED Gold criteria.  Confirm the proposed streetscape design meets the intent of 19.11.120?	Packet Pages 16-19
4	<b>MINOR SITE FEATURES (19.11.060)</b> Please confirm the use of the Minor Site Features as described on page 20 of the packet, including: custom tree grates, decorative landmarks in paving, custom stone slab benches, and artistic / sporty bike racks; meets intent of 19.11.060, Site Design?	Packet Page 20
5	<b>BUILDING DESIGN (19.11.100)</b> The north wall continues the use of the same textured, and high quality, exterior materials, found on the other building elevations: brick, wood, and	Packet Page 22

	<p>treated concrete. The use of these materials highlights the second story overhang, while providing additional relief with the horizontal wood band and recessed window well. This consistent approach integrates a property line condition where windows cannot be provided due to required fire separation, into the language of the building exterior. Landscape plant beds and trees will be located around the perimeter of the building to enhance and soften the building as it meets grade.</p> <p>Please confirm this proposal is acceptable to meet the intent of 19.11.100, Walls?</p>	
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END OF MEMO



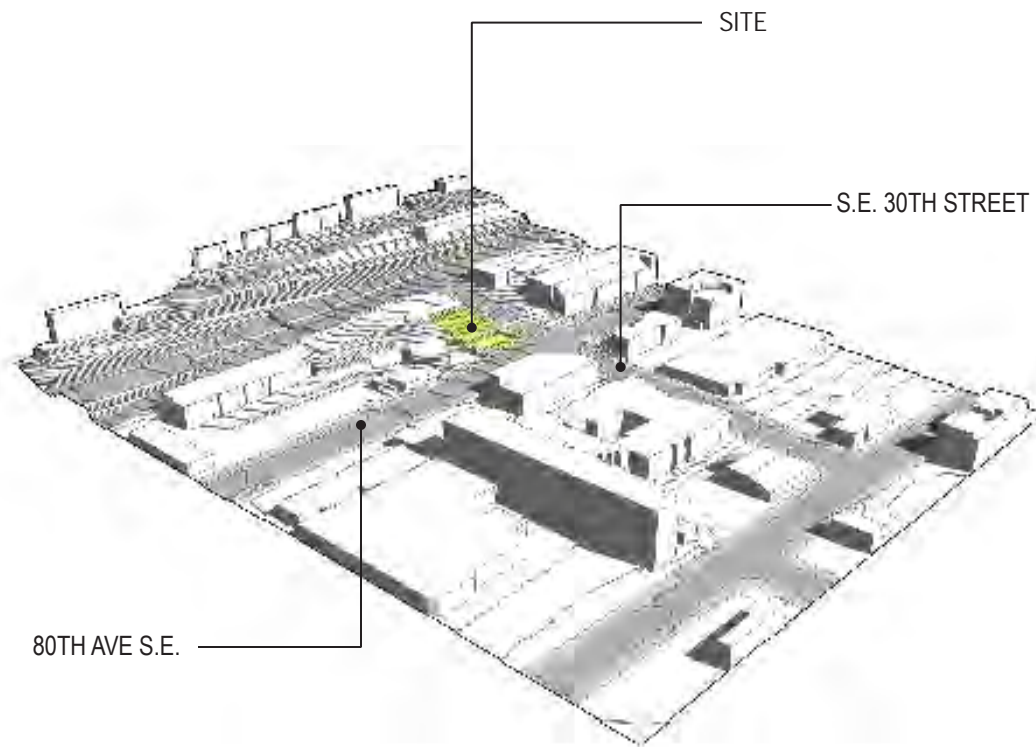
**East Seattle**  
PARTNERS

2856 80TH AVENUE S.E. PROJECT

Mercer Island Design Commission Study Session  
November 14, 2018

**PUBLIC47**ARCHITECTS

# PROJECT DESCRIPTION



## Table of Contents

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## 2856 80TH AVENUE S.E.

### MERCER ISLAND DEVELOPMENT PREAPPLICATION MEETING

The proposed project consists of demolishing the existing 2,948-square foot (sf) office building and replacing it with a new 2-story, 10,132-sf office building with 1,226-sf mezzanine, for professional services. Parking for 17 vehicles will be located below grade and accessed from the NW corner of the site, from 80th Ave SE.

**Zoning** TC-3  
**Site Area** 6,588 SF

**Owner**  
East Seattle Partners  
2856 80th Avenue S.E.  
Mercer Island, WA

**Architect**  
Public47 Architects  
820 John St. #204  
Seattle, WA 98109

The proposed project seeks to achieve the following development objectives:

- Provide below grade vehicle parking for 17 vehicles.
- Create a new building for professional services private offices, collaboration, and community space.
- Take advantage of unique corner site geometry and topography.

**Legacy Project**

*The goal is to create a high-quality and timeless building for a local family office, East Seattle Partners, and their foundation, East Seattle Foundation.*

**Sustainability**

*The project intends to reduce environmental impacts and serve as a model for sustainable development on Mercer Island and in the region.*

**Community**

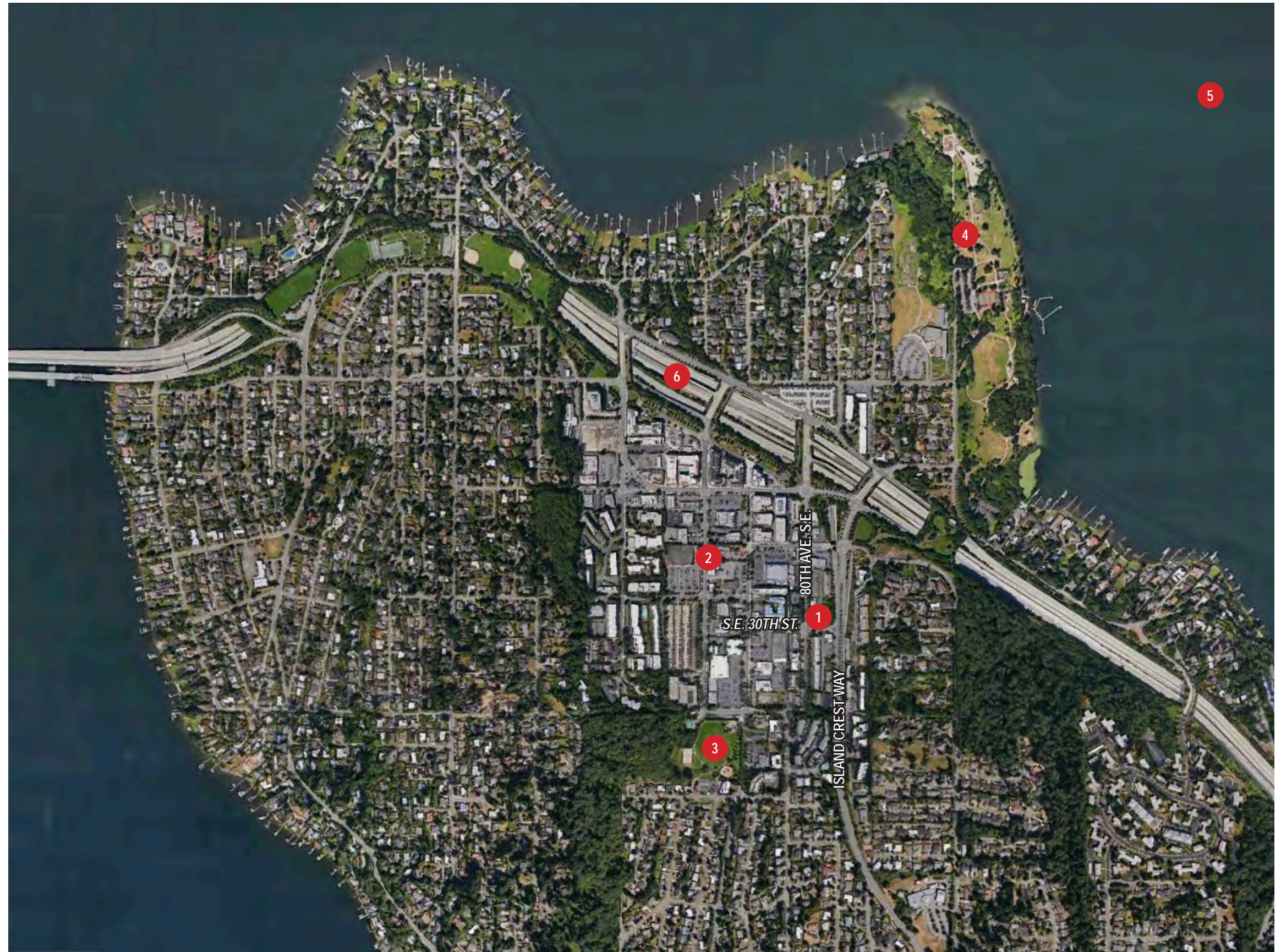
*The project seeks to improve the Town Center and contribute positively to the community.*



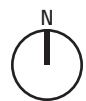
# URBAN DESIGN ANALYSIS

## Vicinity Context

The site is located on the eastern edge of the Mercer Island Town Center. Vehicles traveling south on Island Crest Way that exit to the Town Center onto S.E. 30<sup>th</sup> Street, pass directly by the site. To the north, there is convenient access to I-90 for vehicles, bicycles, the park and ride lot, and pedestrians. Bank of America occupies the site to the north and there are a mix of uses adjacent to the site, including professional offices and a Montessori School on 80<sup>th</sup> Ave S.E.



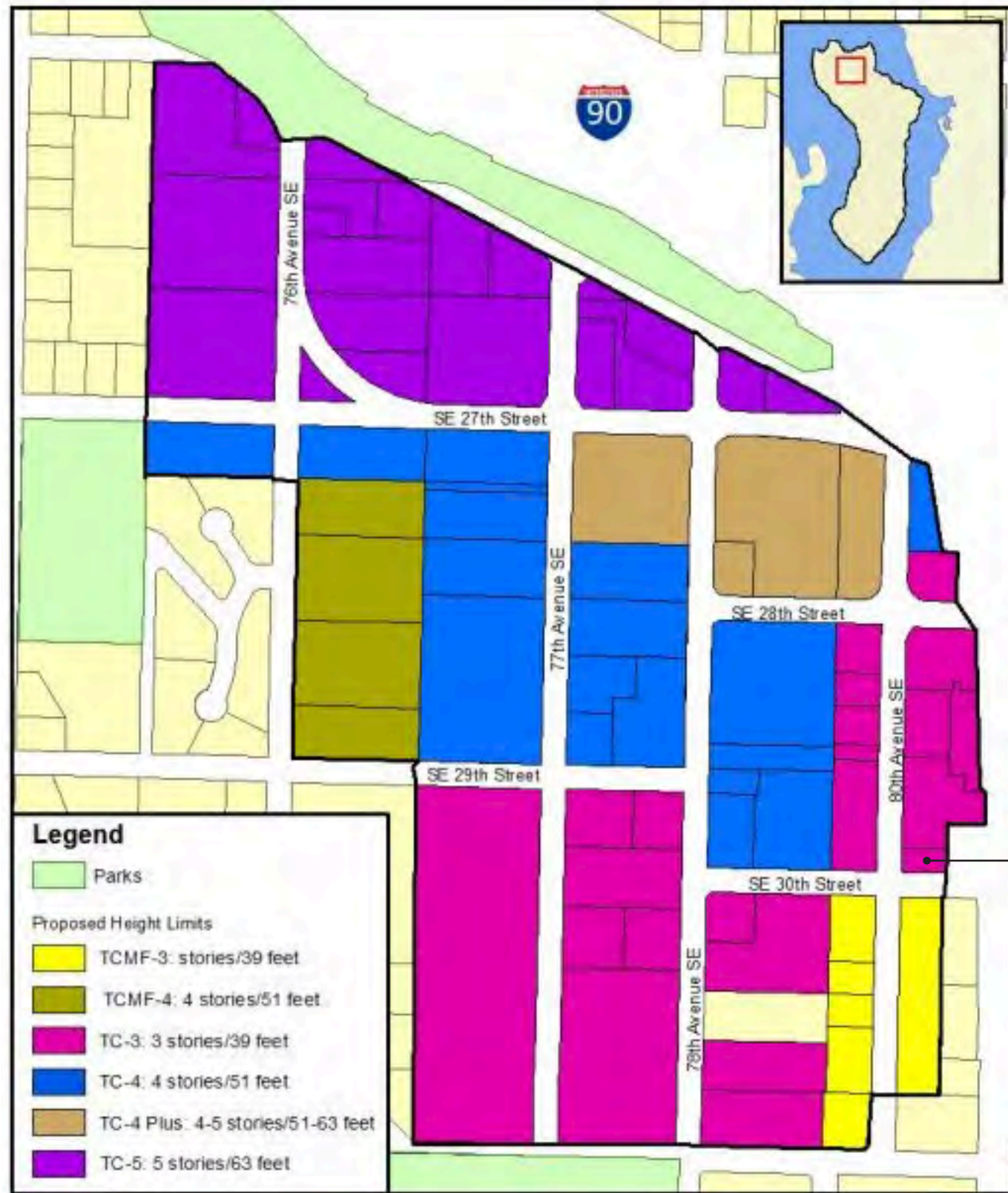
- 1 2856 80th Ave SE (Subject Property)
- 2 Mercer Island Town Center
- 3 Mercerdale Park
- 4 Luther Burbank Park
- 5 Lake Washington
- 6 I-90



# TOWN CENTER

## Zoning

The subject property is zoned TC-3 whose purpose, according to 19.11.015, "is to create an area of transition between the Town Center and adjacent residential neighborhoods. A broad mix of land uses is allowed. Buildings may be up to three stories in height."



SITE



TOWN CENTER ZONING MAP



# SITE ANALYSIS

## Solar Access

The site has good solar access to the south and west. Morning sun is partially blocked by the the hill and tall trees to the east.

## Building Access

The corner site is fronted on three sides by public right-of-way. S.E. 30<sup>th</sup> Street is very steep and traffic travelling off Island Crest Way moves quickly, making vehicular access challenging from the south side. 80<sup>th</sup> Ave SE presents the best vehicular and pedestrian access, though the frontage is only about 55'.

## Massing

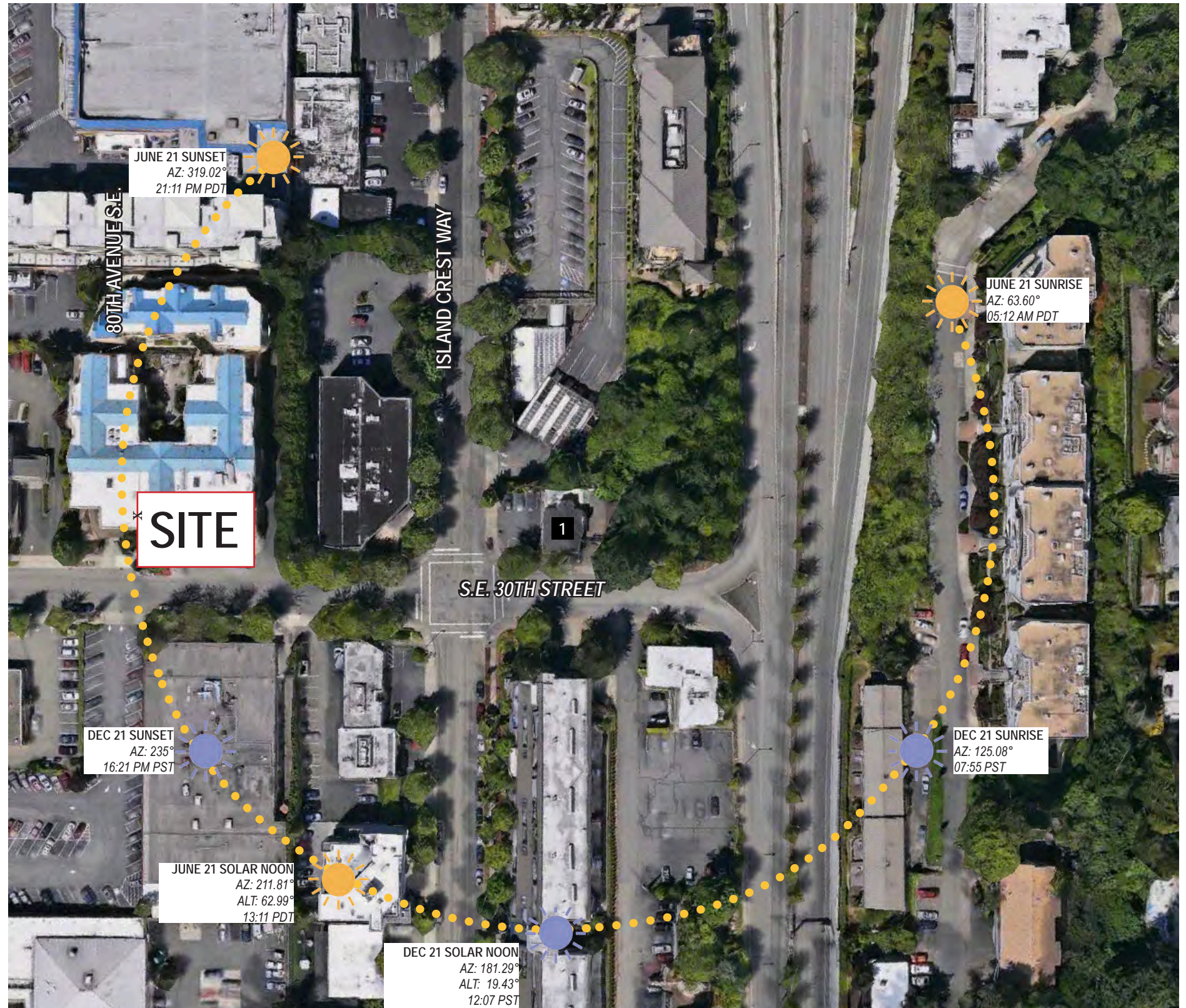
The surrounding buildings are 1-3 stories in height

## Topography

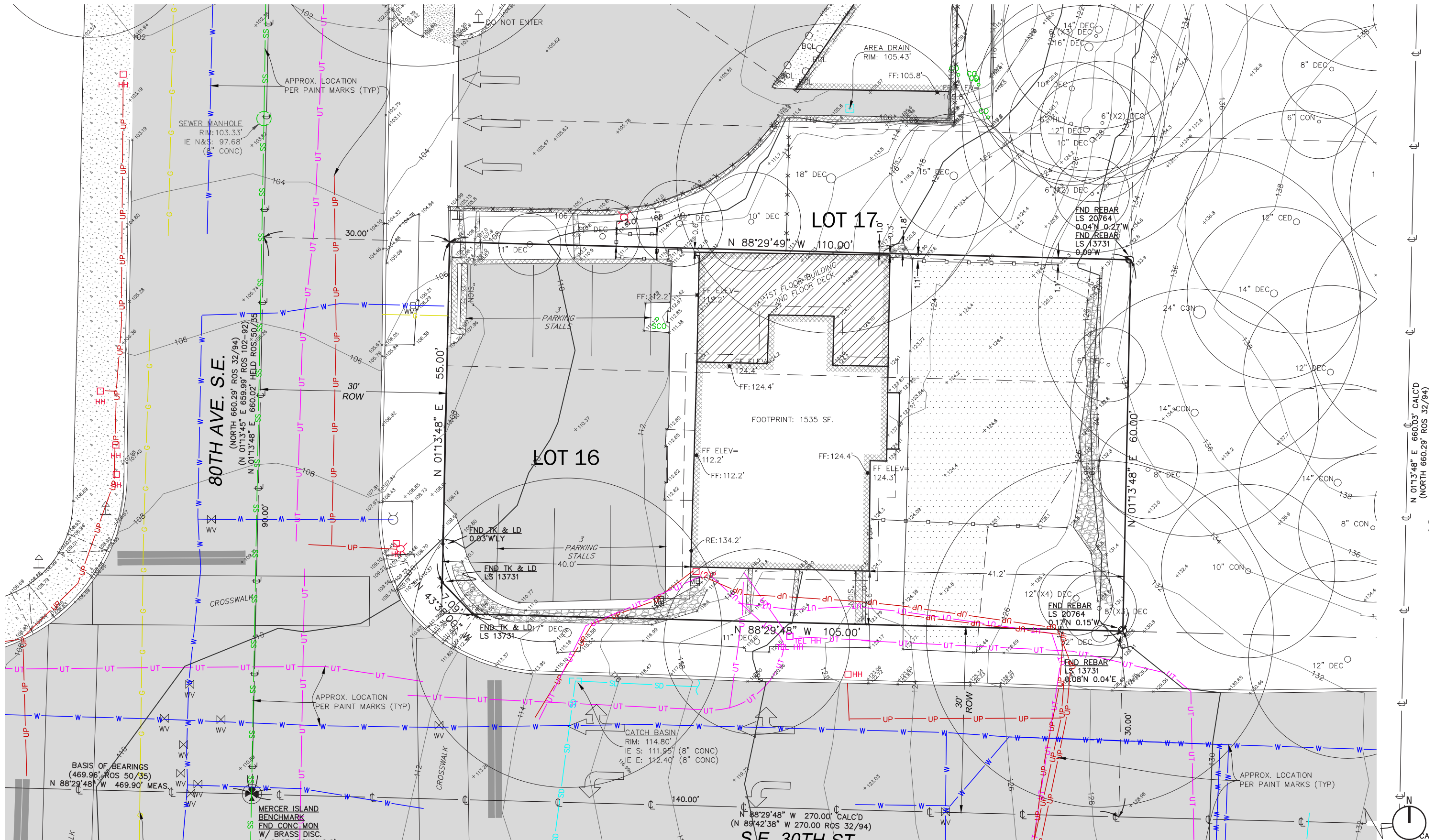
The subject property slopes approximately 28' from the NW corner to the SE corner, with a 22' slope along S.E. 30<sup>th</sup> Street. Beyond the site, the topography slopes up to the east and down to the Town Center to the west.

## Views

There are territorial views to the south, west, and north from the upper portions of the site.



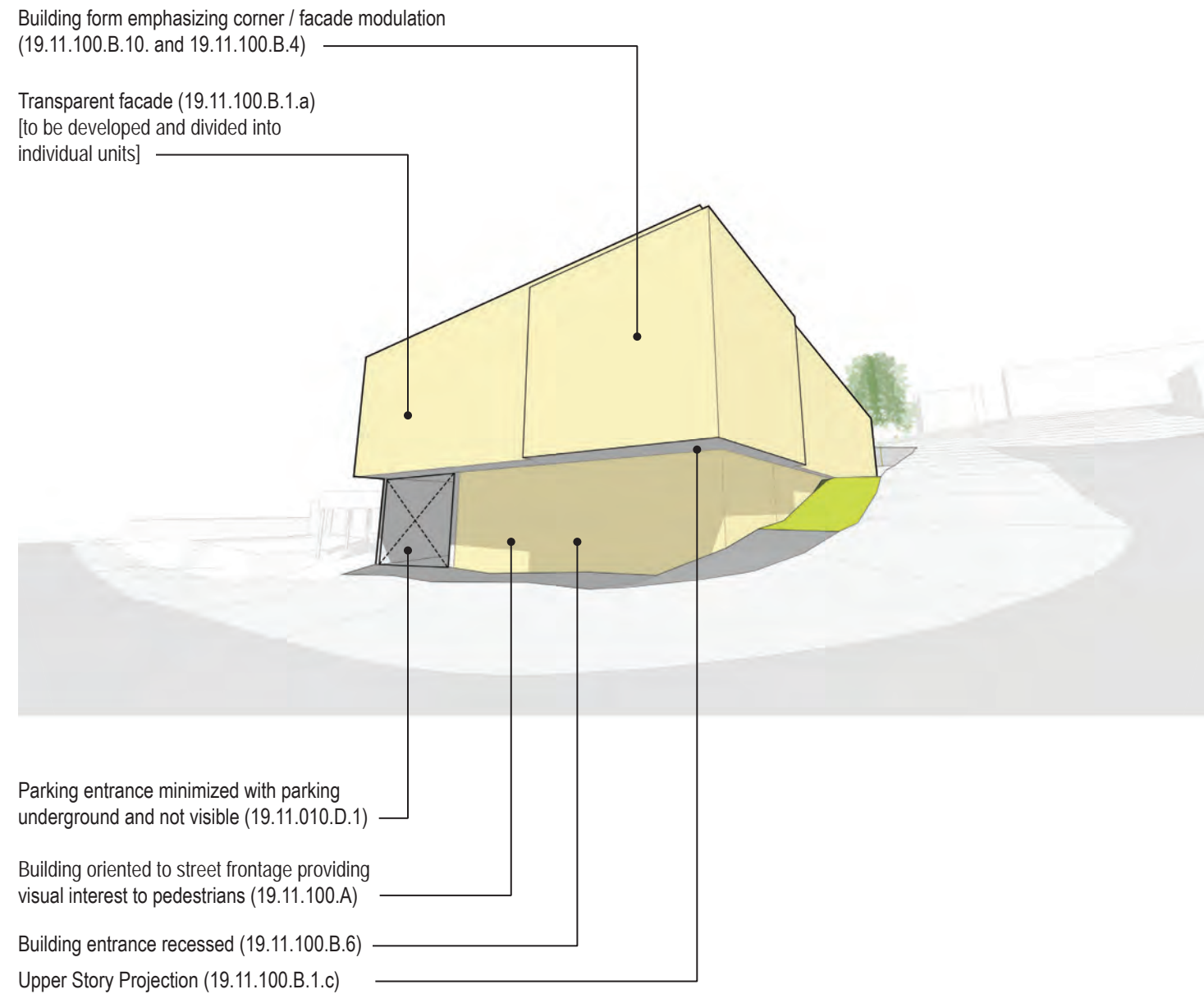
EXISTING SITE CONDITIONS - SURVEY



EXISTING SITE CONDITIONS - VIEW LOOKING NE



MASSING DIAGRAM WITH DESIGN MOTIVES (CODE REFERENCES)  
FROM PREVIOUS STUDY SESSION



## EXTERIOR MATERIALS (19.11.110)

### Relevant Code Sections

19.11.110 Materials and Color.

Building exteriors should be constructed from high quality and durable materials. It is important that the materials and colors weather well and that building exteriors need minimal maintenance.

### PROPOSAL

The proposal uses textured and high-quality materials: brick, wood, and treated concrete as the primary exterior materials. The use of these materials highlights the architectural features, per 19.11.110.A.

Further, the use of brick and wood reflect the region and present a durable palette while avoiding the use of "Undesired Materials" per code section 19.11.110.B.7

### SRUDY SESSION QUESTION

Please confirm the proposed exterior materials meet the objectives of code section 19.11.110 Materials and Color?



VIEW LOOKING NE

EXTERIOR MATERIALS (19.11.110)



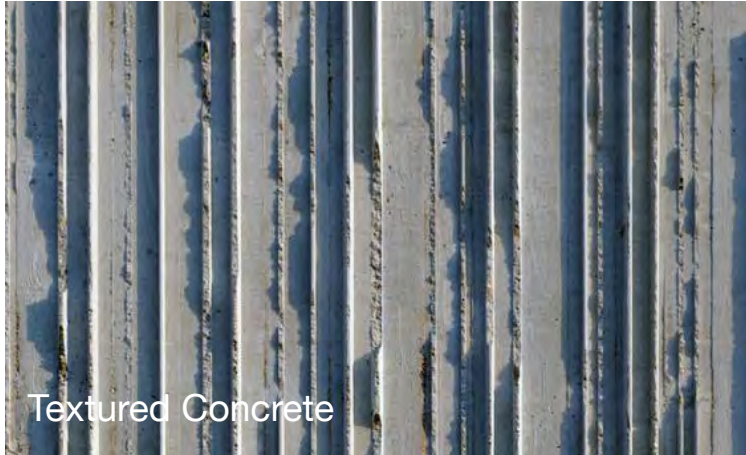
1 Mutual Materials  
1/3 Running Bond



Endicott - Stack Bond



3 Stained Douglas Fir



Textured Concrete

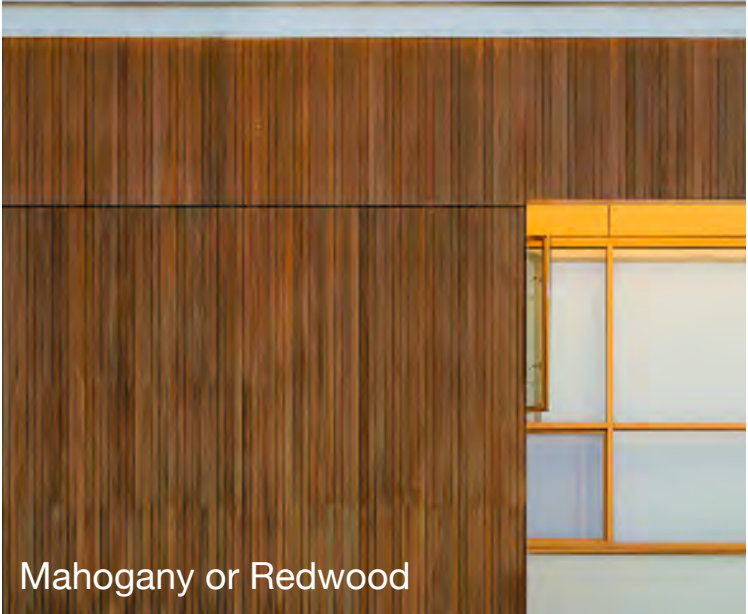


2

Board Formed Concrete



Form Lined Textured Concrete



Mahogany or Redwood

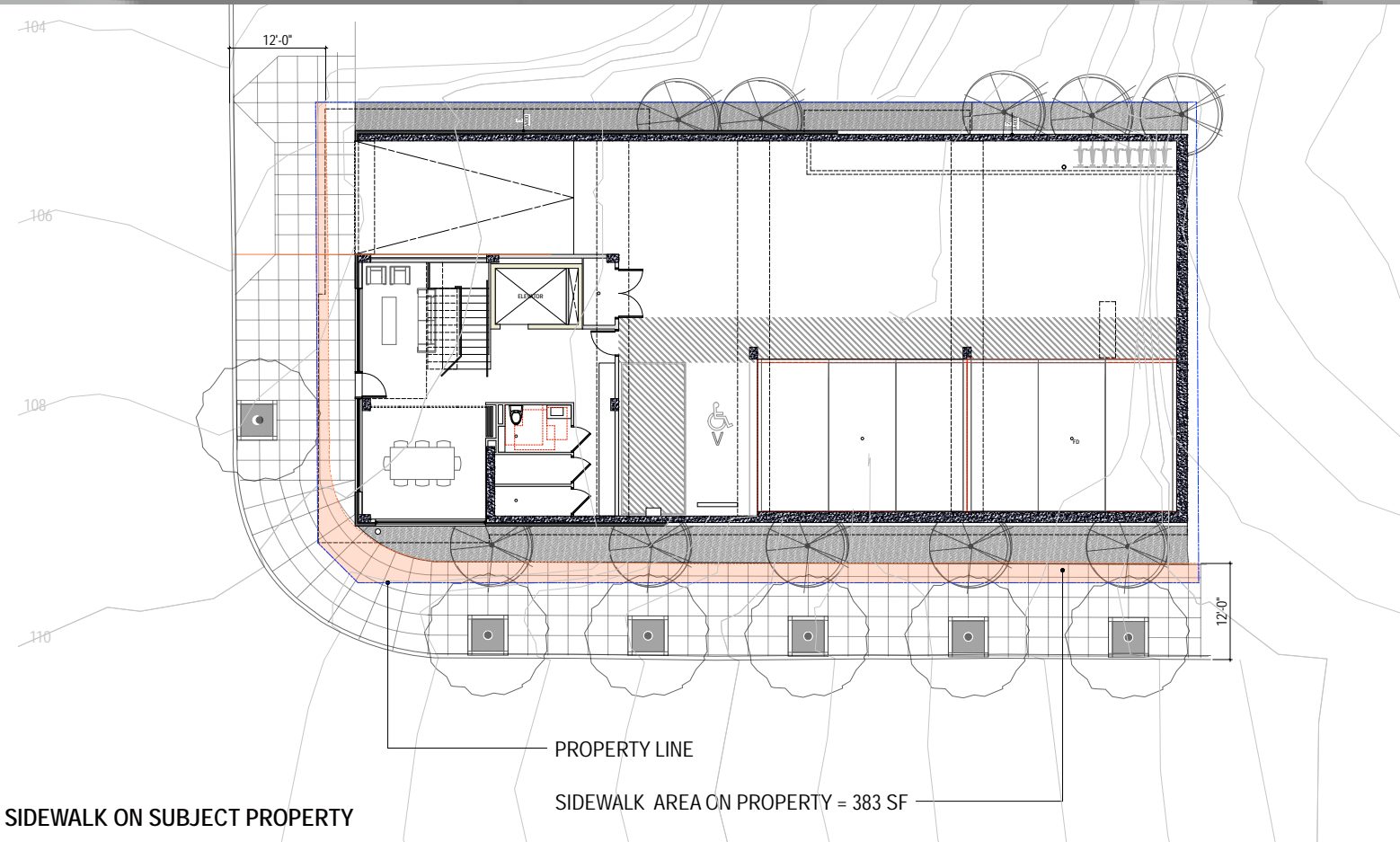
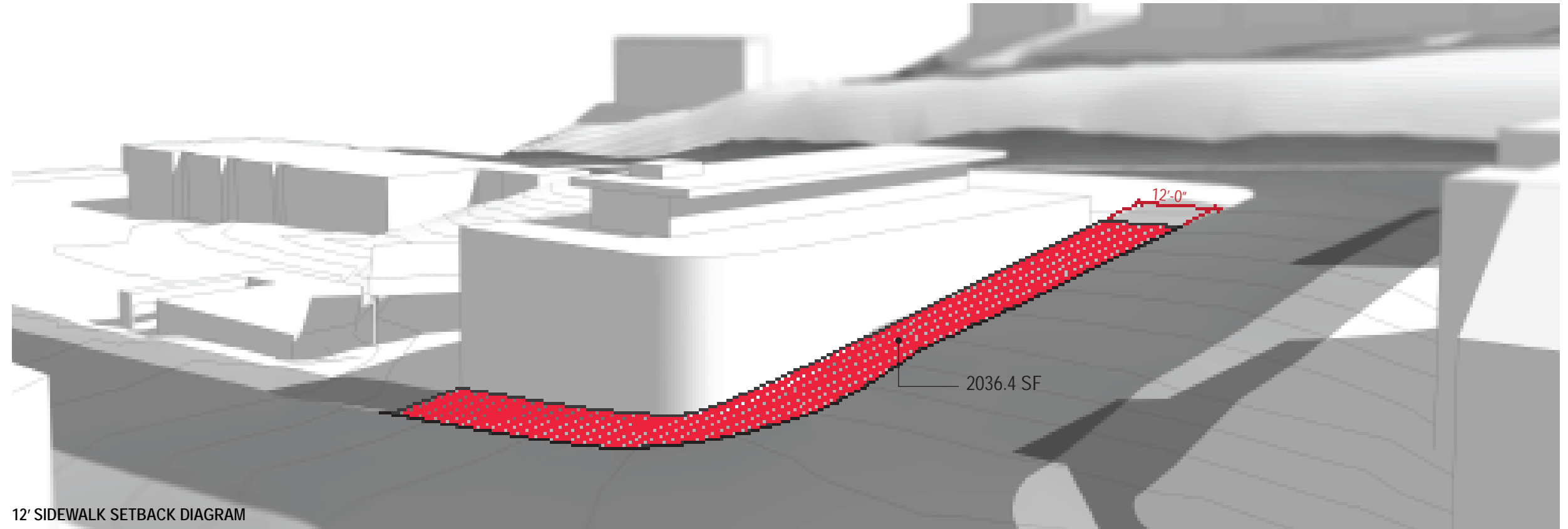


4 Aluminum / Fiberglass Window System

- Material Key:
- 1 Brick
  - 2 Treated Architectural Concrete - Vertically Oriented
  - 3 Wood Rainscreen Cladding
  - 4 Black Window Frames

# SETBACKS (19.11.030)

**Relevant Code Sections**  
19.11.030.A.6.b Setbacks. All structures shall be set back so that space is provided for at least 12' of sidewalk between the structure and the face of the street curb.



## SETBACKS (19.11.030)

### Relevant Code Sections

19.11.100.A.1c

Upper Story Facades: Upper stories of buildings above two stories should maintain an expression line along the facade such as a setback, change of material, or a projection to reduce the perceived building mass.

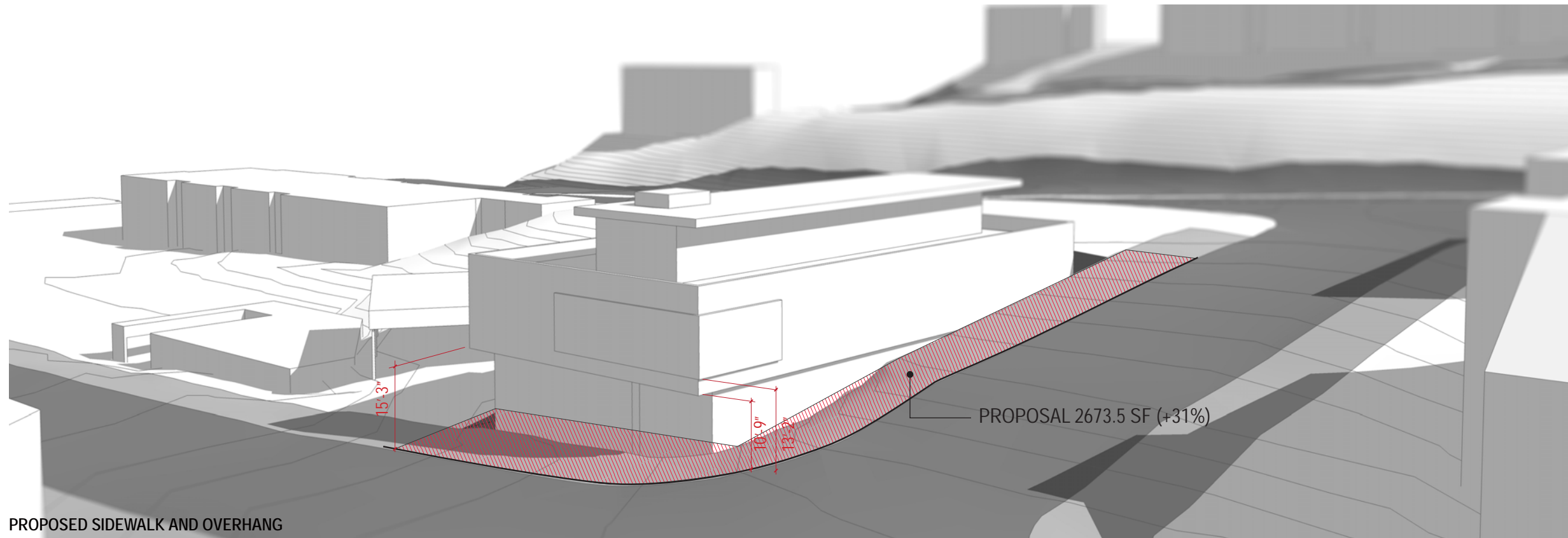
19.11.100.A.6

Entrances: Entrance doors shall be recessed from the facade surface to emphasize the entrance and provide a sheltered transition to the interior of the building.

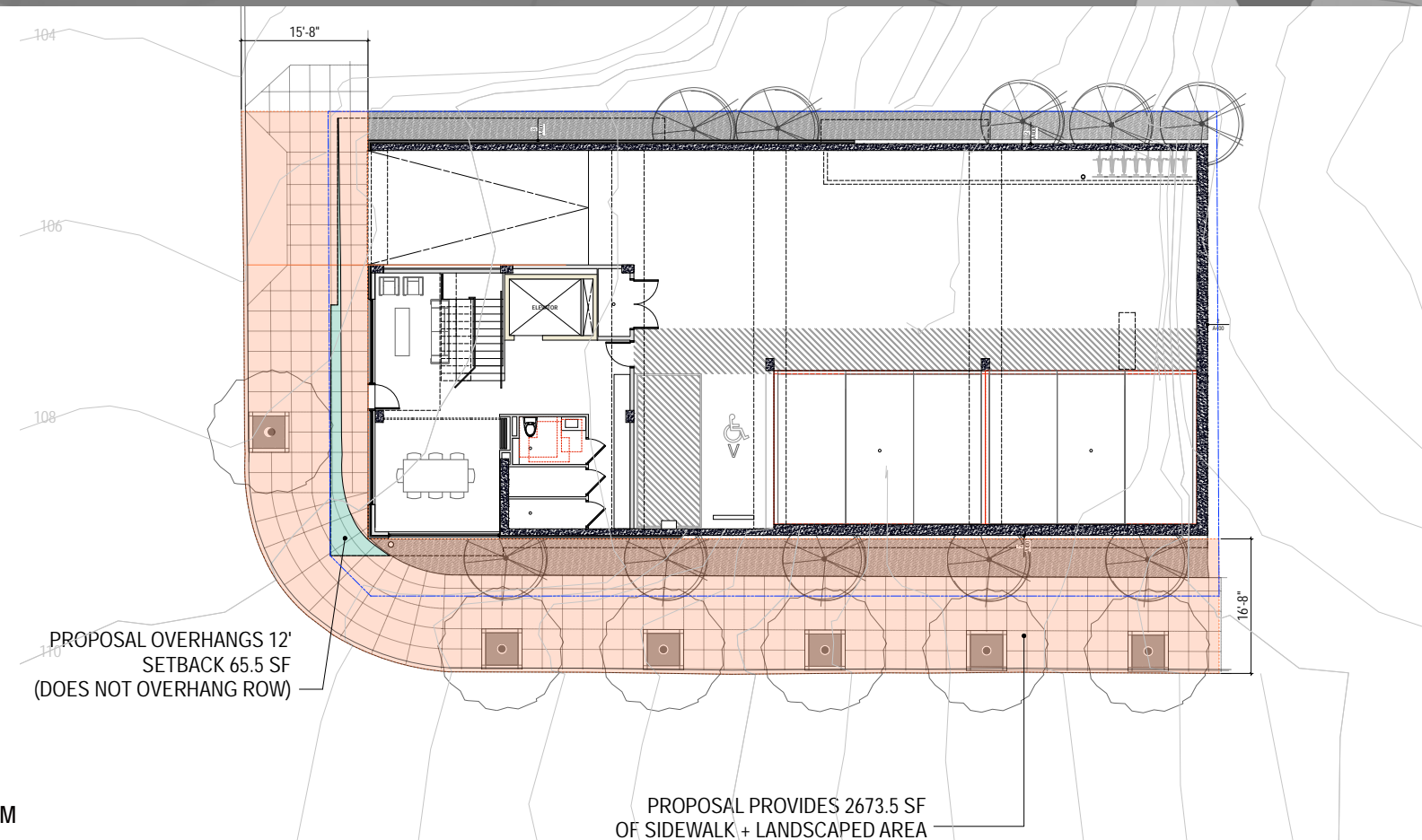
19.11.100.A.13

Weather Protection: Specially designed all-weather features that integrate weather protection systems at the sidewalk level of buildings to protect pedestrians:

- a. Any canopy or awning should be a permanent architectural element.
- b. Any canopy or awning should project out a minimum horizontal width of six feet and be between eight to 12' above grade.



PROPOSED SIDEWALK AND OVERHANG



PROPOSED SIDEWALK DIAGRAM



## SETBACKS (19.11.030)

### PROPOSAL

The structure is set back 15'-8" from the curb on 80th Ave S.E. and 16'-8" from the curb on S.E. 30th St., exceeding the 12' code requirement at sidewalk level. This provides 31% more public sidewalk and landscaping for pedestrians than a 12' wide sidewalk would provide. The upper story extends into the 12' setback area a minimal amount of 65 sf, as shown on the diagram on the previous page 13. This approach mediates complex geometry at the corner with a trapezoidal PL, and radiused curb, with a rectilinear form that fits into the Mercer Island context.

Also, the proposal meets the intent of the above code sections, providing recessed entry, weather protection, and an expression of the upper story facades that reduces the perceived building mass while creating visual interest at for pedestrians at street level.

### STUDY SESSION QUESTION

Please confirm proposal is acceptable?





EXAMPLES OF BUILDINGS THAT OVERHANG THE PUBLIC SIDEWALK

## STREET STANDARDS (19.11.120)

### Relevant Code Sections

#### 19.11.120 Site Design

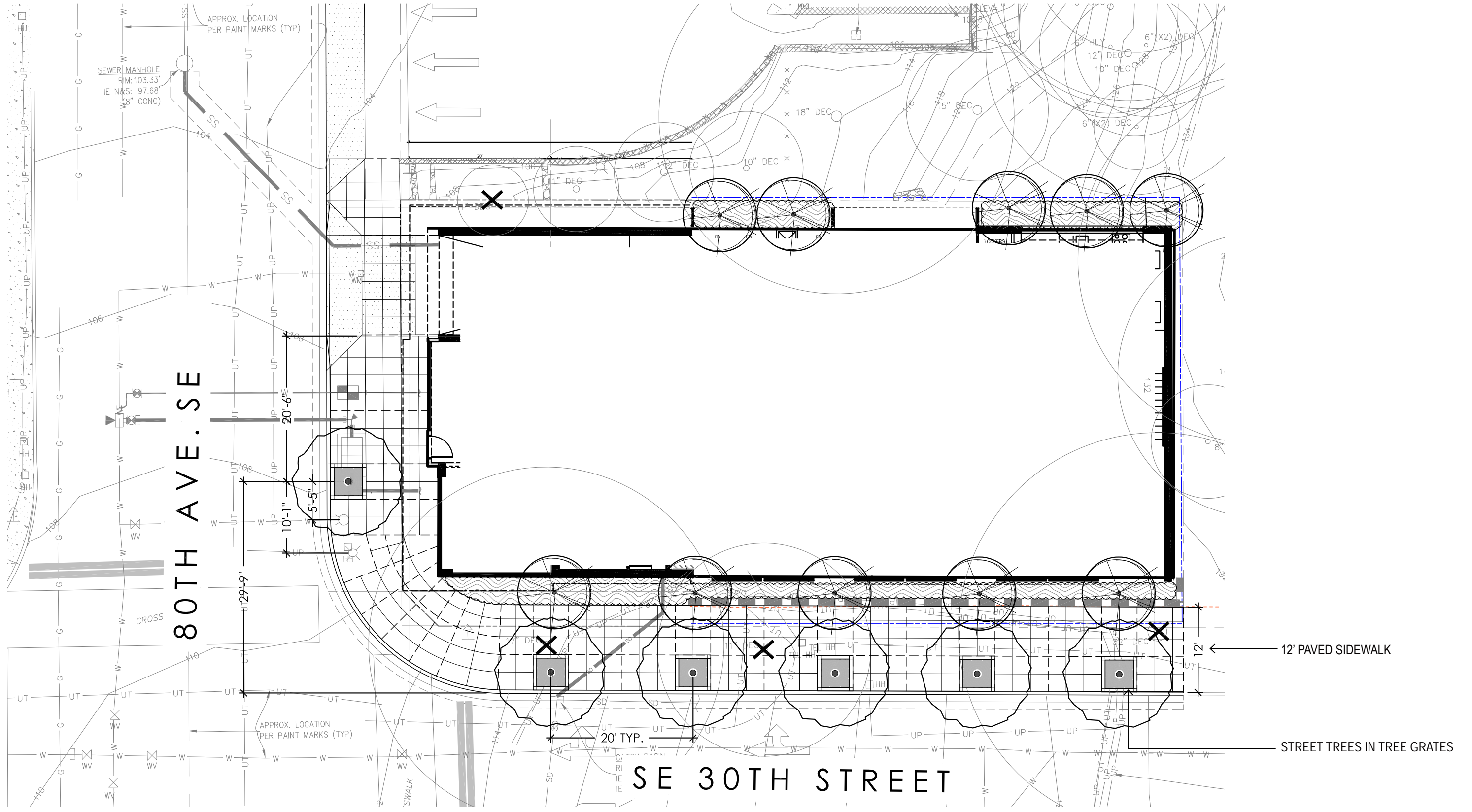
Major new construction abutting all other streets shall improve the right-of-way adjacent to the property as required by the Mercer Island Town Center Streetscape Manual. The design commission may require or grant a modification to the nature or extent of any required street improvement for any of the following reasons upon recommendation by the city engineer:

A. If unusual topographic or physical conditions preclude the construction of the improvements as required; or

D. If other unusual circumstances preclude the construction of the improvements as required.



VIEW OF EXISTING SIDEWALK ON THE EAST END OF SE 30TH STREET AS IT MEETS ISLAND CREST WAY



ORIGINAL LANDSCAPE PLAN : PER STRICT INTERPRETATION OF STREETScape MANUAL

STREET STANDARDS (19.11.120)



AERIAL VIEW OF SITE LOOKING NORTHEAST



VIEW OF SE 30TH ST LOOKING NORTH



VIEW OF SE 30TH ST LOOKING EAST



VIEW OF SE 30TH ST LOOKING EAST



VIEW OF 80TH AVE SE LOOKING SOUTH

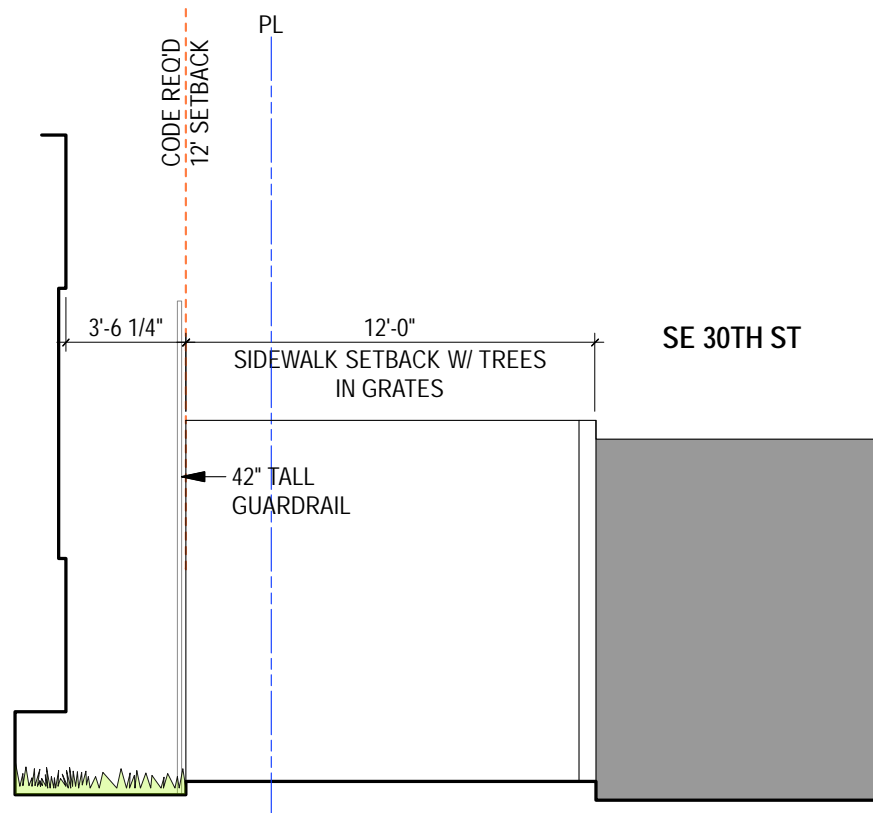


VIEW OF 80TH AVE SE LOOKING SOUTHEAST

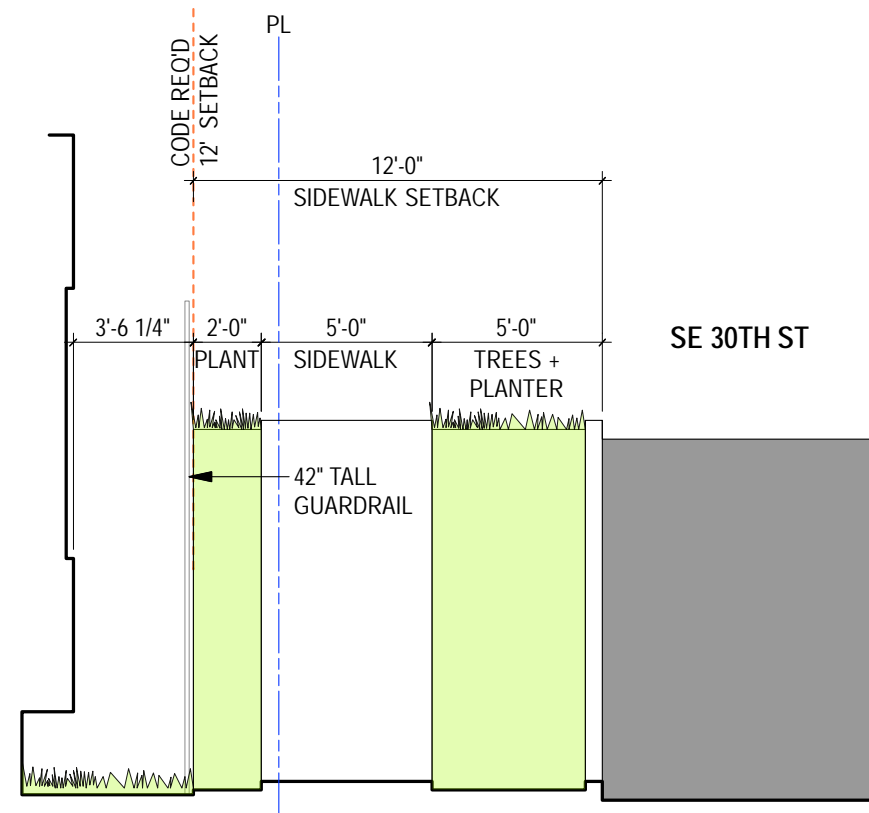


VIEW OF INTERSECTION AT 80TH AVE SE AND SE 30TH ST; LOOKING EAST

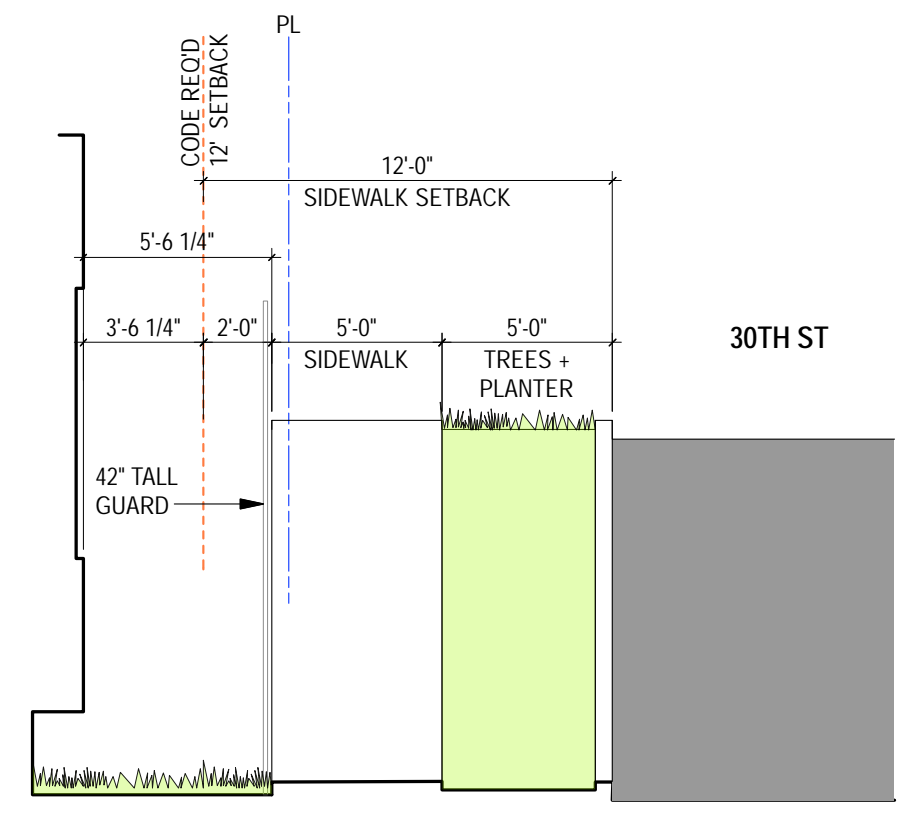




SECTION THROUGH SE 30TH STREET: STREET DESIGN PER STRICT APPLICATION OF STREETScape MANUAL



SECTION THROUGH SE 30TH STREET: OPTION 1 PROPOSED STREET DESIGN (PREFERRED)



SECTION THROUGH SE 30TH STREET: OPTION 2 PROPOSED STREET DESIGN



## MINOR SITE FEATURES (19.11.060)

### Relevant Code Sections

#### 19.11.060 Site Design

Minor Site Features. All major new construction shall have at least three minor site features; minor site features may include:

1. Decorative Landmarks. Imaginative features that complement the building design and create visual focal points that give identity to an area, such as decorative clocks, special paving in pedestrian areas, art features, water features, drinking fountains, or creative designs for necessary building features or functions. Art should be integrated with the public street improvements. Examples include sculpture, murals, inlays, mosaics, friezes or bas-reliefs. The location of art shall provide for public view but not hinder pedestrian traffic.

### PROPOSAL

Use of custom tree grates, decorative landmarks in paving, custom stone slab benches, and artistic / sporty bike racks, is meant to encourage pedestrian oriented activities and experience within the public street improvements as described in section 19.11.060.

### KEY:

1 Custom Tree Grate

2 Inset Bronze Letters with Current / Historic Street Names

3 Custom Stone Slab Bench

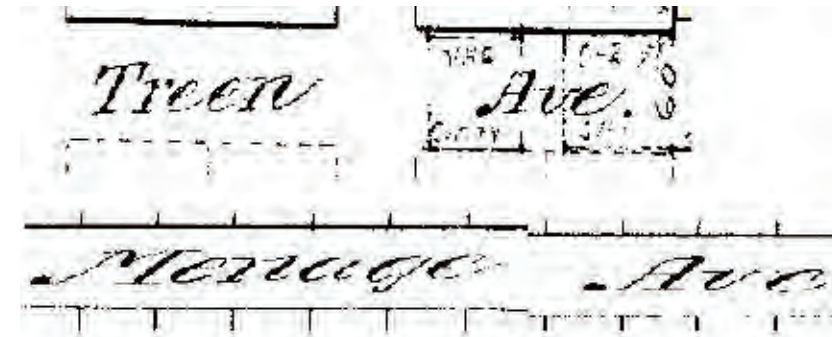
4 Sporty Bike Racks

### STUDY SESSION QUESTION

Please confirm the proposal is acceptable?



1 OBLIO TREE GRATE SHOWN -- ADD CUSTOM ELEMENTS TO THIS OPTION



2 INSET BRONZE LETTERS WITH CURRENT/HISTORIC STREET NAMES (80TH STREET/MENANGE AVENUE; 30TH AVENUE/TREEN AVENUE;



3 CUSTOM STONE SLAB BENCH: GRANITE, HONED TOP, SPLIT SIDES

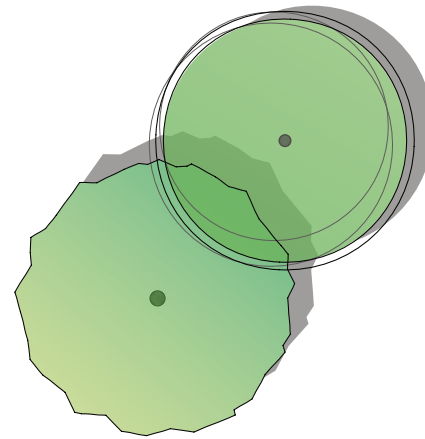


4 SPORTY BIKE RACK: SPORTWORKS OAHU NO SCRATCH® CIRCULAR BIKE RACK

NATIVE PLANTS

PROPOSED STREET TREES:

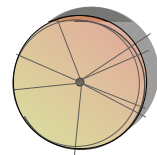
STREET TREE SELECTIONS TO BE REVIEWED AND APPROVED BY CITY OF MERCER ISLAND



80TH SE  
PYRUS CALLERYANA / CHANTICLEER PEAR OR APPROVED ALT.

SE 30TH  
PYRUS CALLERYANA / CHANTICLEER PEAR OR APPROVED ALT.

SMALL TREES:



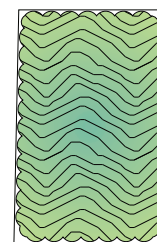
ACER CIRCINATUM/VINE MAPLE AND/OR AMELANCHIER  
ALNIFOLIA / SASKATOON SERVICEBERRY

R.O.W. SHRUBS & GROUNDCOVERS



VACCINIUM OVATUM / EVERGREEN HUCKLEBERRY  
CORNUS KELSEYII / KELSEY DOGWOOD  
POLYSTICHUM MINUTUM / SWORDFERN  
FRAGARIA CHILOENSIS / BEACH STRAWBERRY\*  
GAULTHERIA SHALLON / SALAL

ON SITE SHRUBS & GROUNDCOVERS



POLYSTICHUM MINUTUM / SWORDFERN  
MAHONIA NERVOSA / LEATHERLEAF MAHONIA  
SYMPHORICARPUS ALBUS / SNOWBERRY  
VACCINIUM OVATUM / EVERGREEN HUCKLEBERRY

TREES



*Cornus 'Eddie's White Wonder'*  
*'Eddie's White Wonder' Dogwood*



*Acer circinatum*  
*Vine Maple*



*Amelanchier alnifolia*  
*Saskatoon Serviceberry*

SHRUBS



*Cornus kelseyi*  
*Kelsey redstem dogwood*



*Vaccinium ovatum*  
*Evergreen Huckleberry*



*Symphoricarpos albus*  
*Snowberry*

ETC.



*Gaultheria shallon*  
*Salal*



*Mahonia nervosa*  
*Leatherleaf Mahonia*



*Polystichum munitum*  
*Sword Fern*

# BUILDING DESIGN (19.11.100)

## Relevant Code Sections

19.11.100 Walls.

Untreated blank walls are prohibited. A blank wall is a wall over six feet in height, with a horizontal length greater than 15 feet that does not include a transparent window or door. Methods to treat blank walls can include but are not limited to:

e. Special building detailing that adds visual interest at a pedestrian scale as approved by the design commission. Such detailing must use a variety of surfaces; monotonous designs will not meet the purpose of the standards.

## PROPOSAL

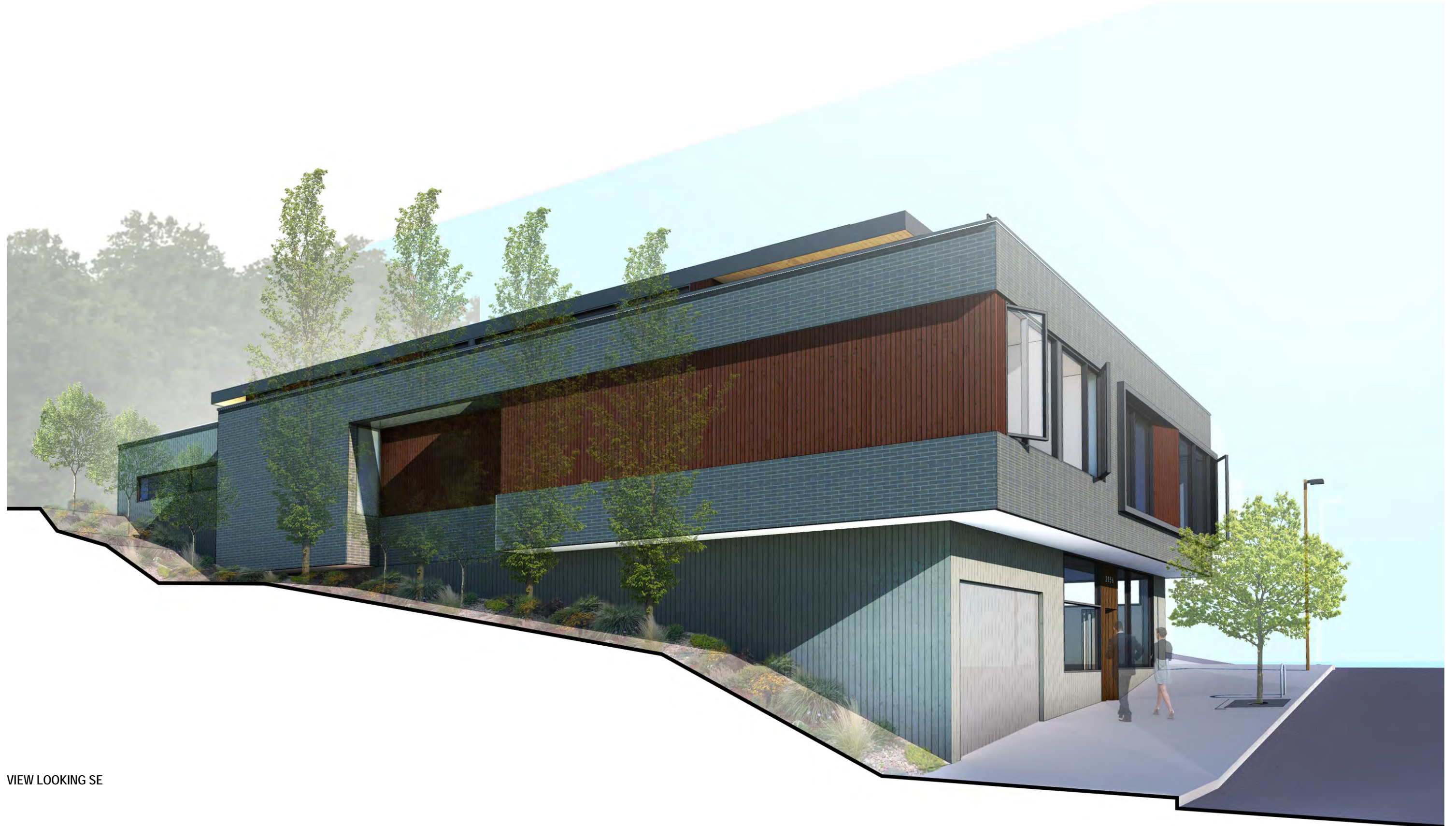
The north wall continues the use of the same textured, and high quality, exterior materials, found on the other building elevations: brick, wood, and treated concrete. The use of these materials highlights the second story overhang, while providing additional relief with the horizontal wood band and recessed window well. This consistent approach integrates a property line condition where windows cannot be provided due to required fire separation, into the language of the building exterior.

Landscape plant beds and trees will be located around the perimeter of the building to enhance and soften the building as it meets grade.

## STUDY SESSION QUESTION

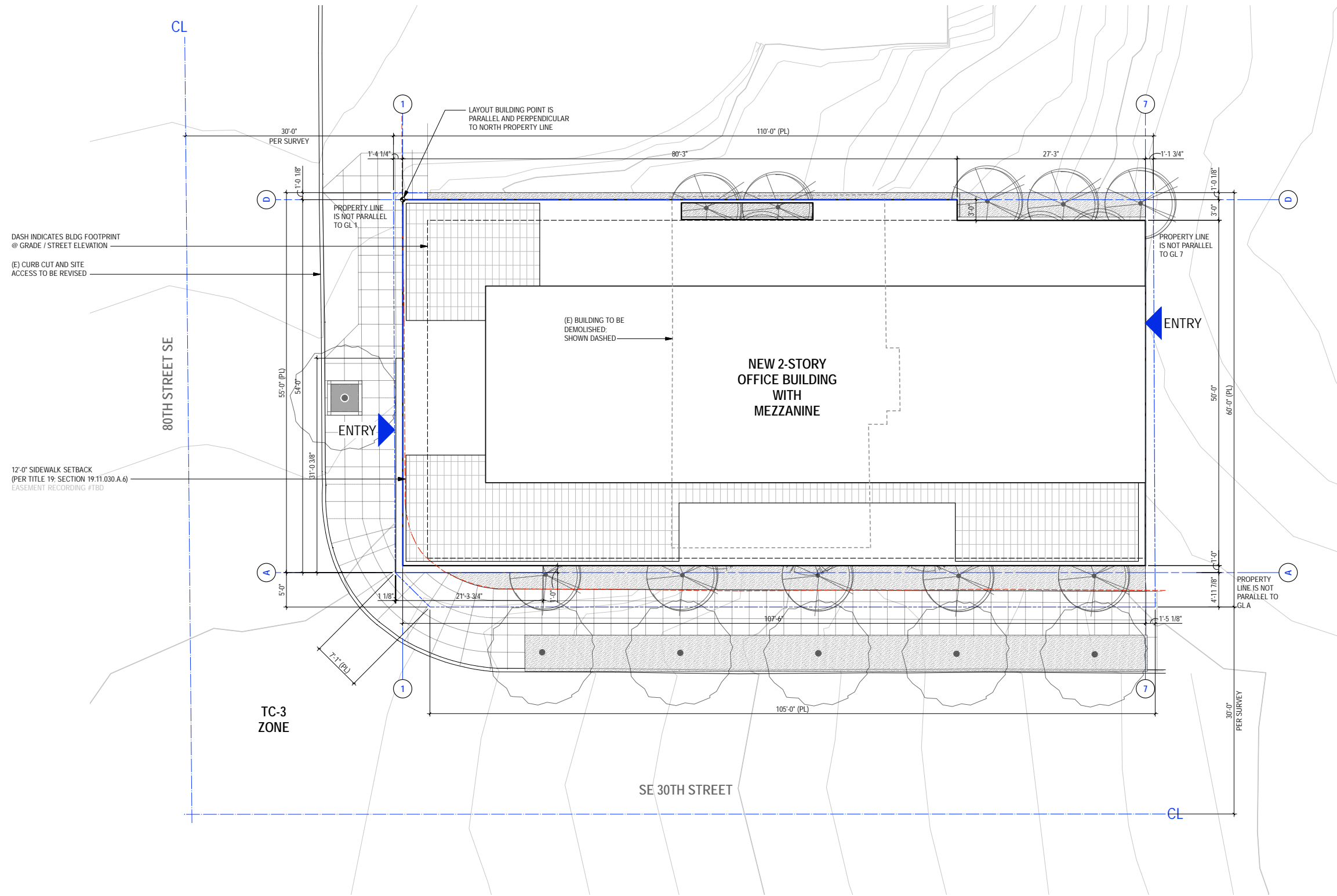
Please confirm this proposal is acceptable?





VIEW LOOKING SE

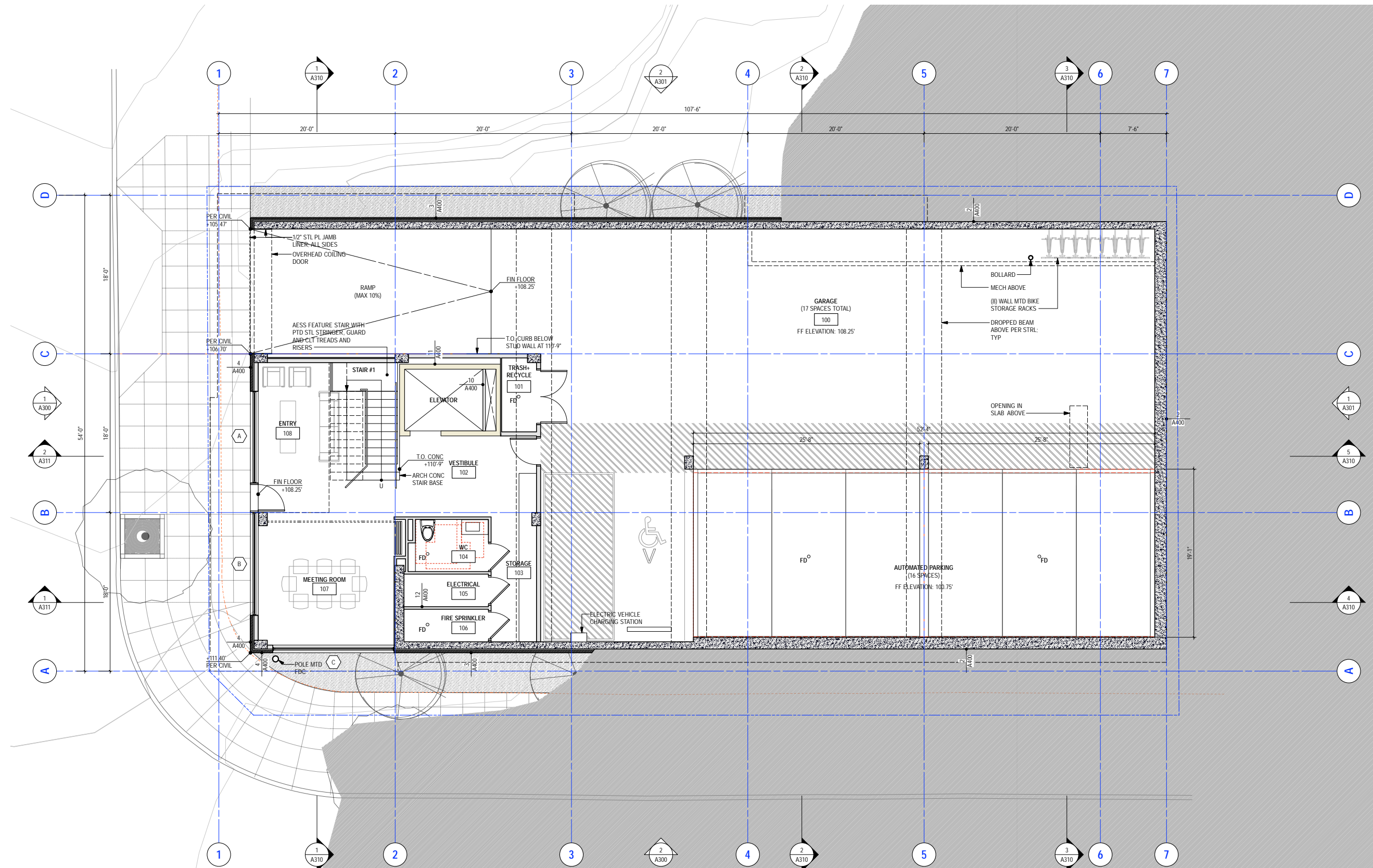
# PROPOSED SITE PLAN



1 SITE PLAN  
A001 SCALE: 1/8" = 1'-0"



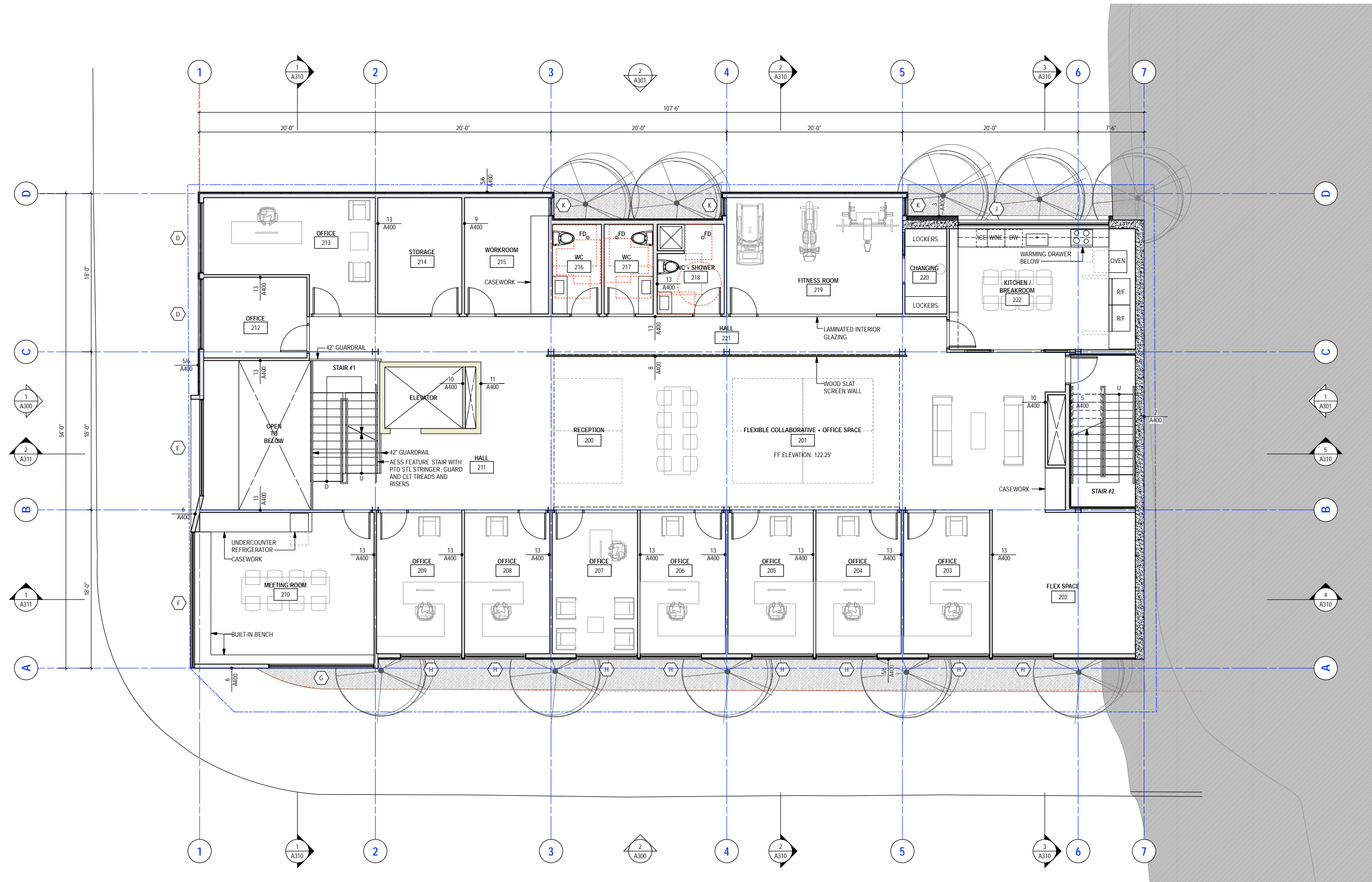
PROPOSED BUILDING FLOOR PLAN



1 LEVEL 01 PLAN  
SCALE: 3/16"=1'-0"



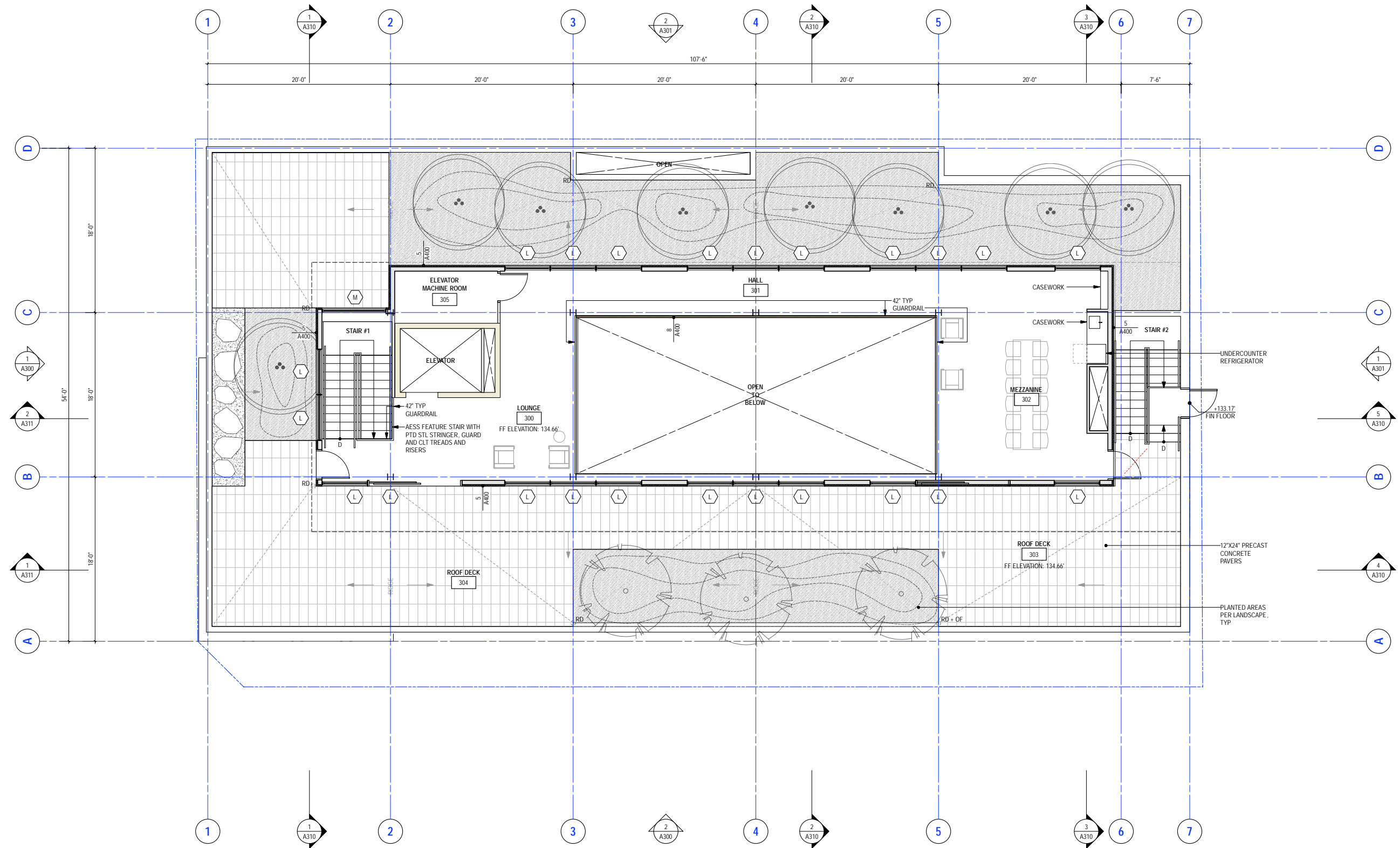
# PROPOSED BUILDING FLOOR PLAN



1 LEVEL 02 PLAN  
A101 SCALE: 3/16"=1'-0"



# PROPOSED BUILDING FLOOR PLAN

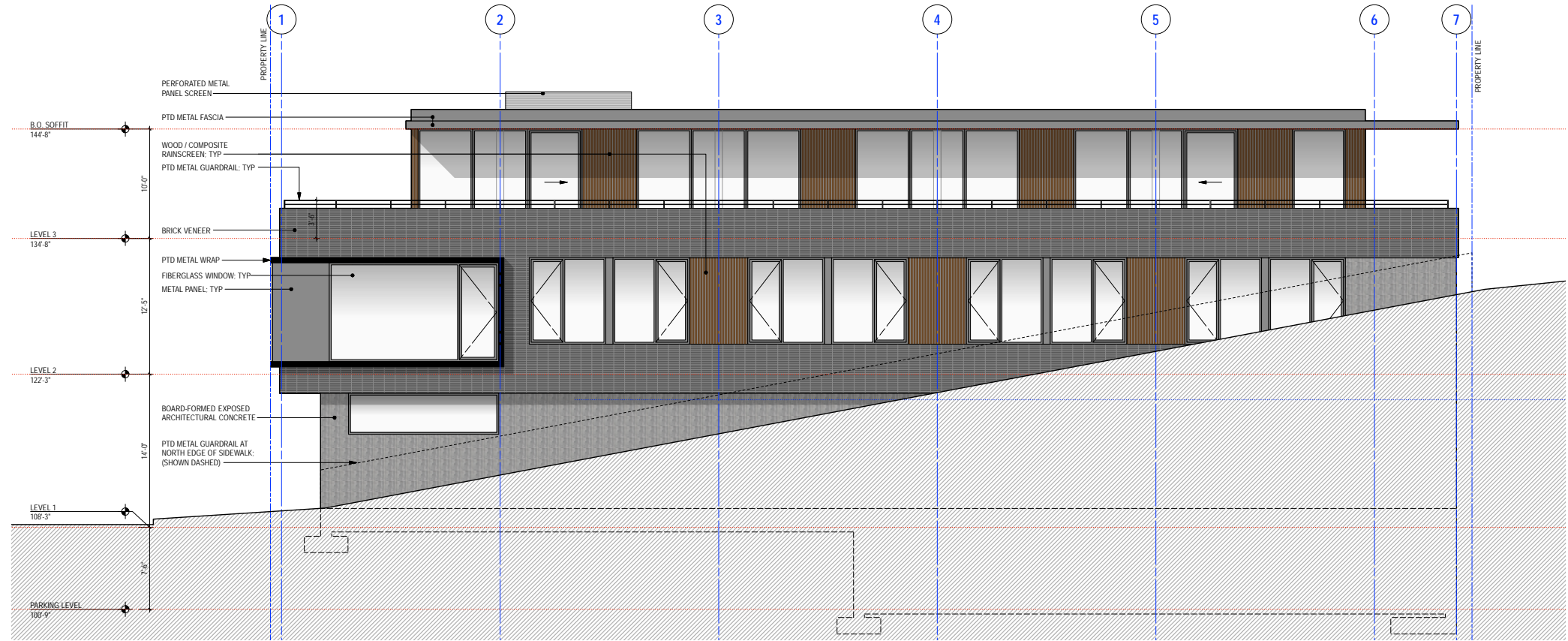


1 LEVEL 03 MEZZANINE PLAN  
SCALE: 3/16"=1'-0"

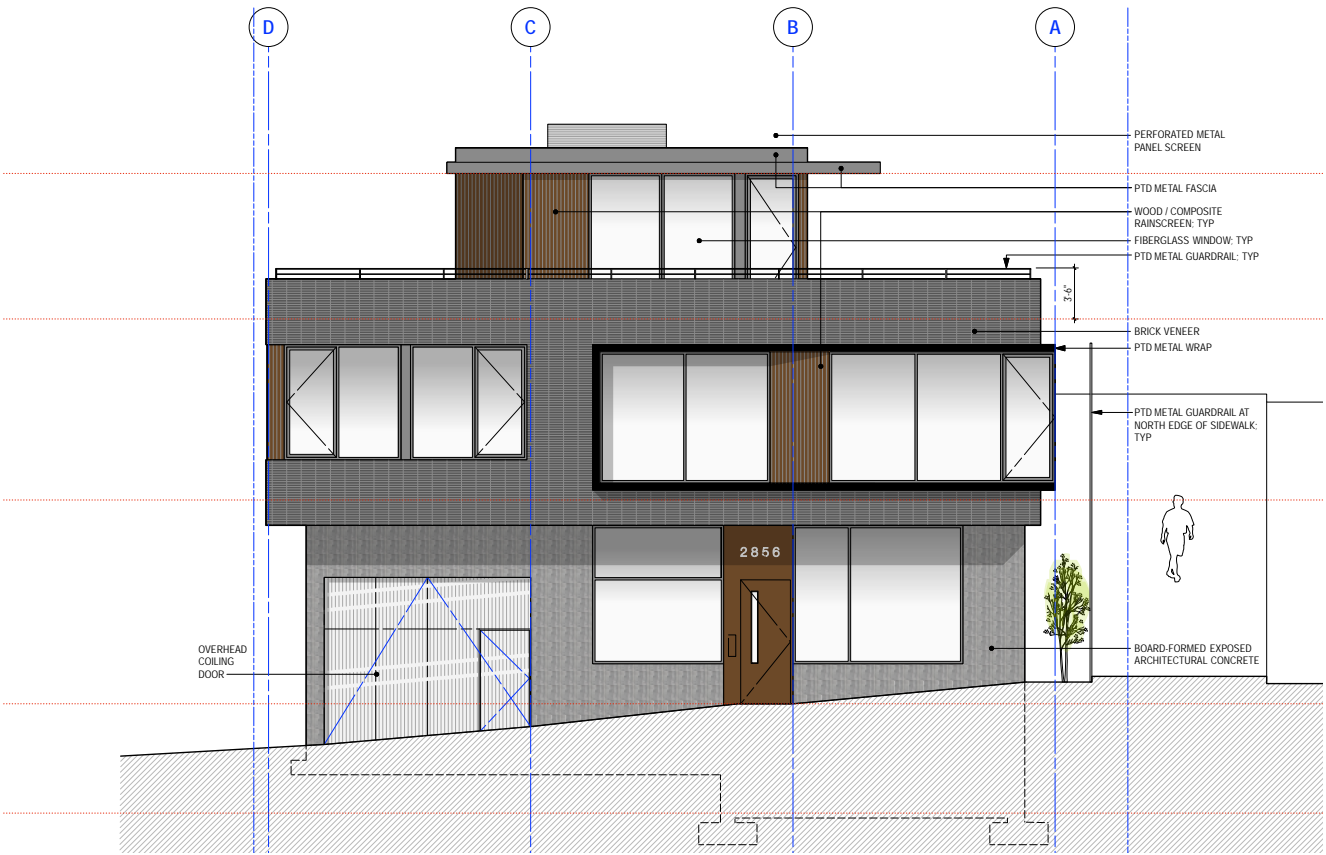




# PROPOSED BUILDING EXTERIOR ELEVATIONS

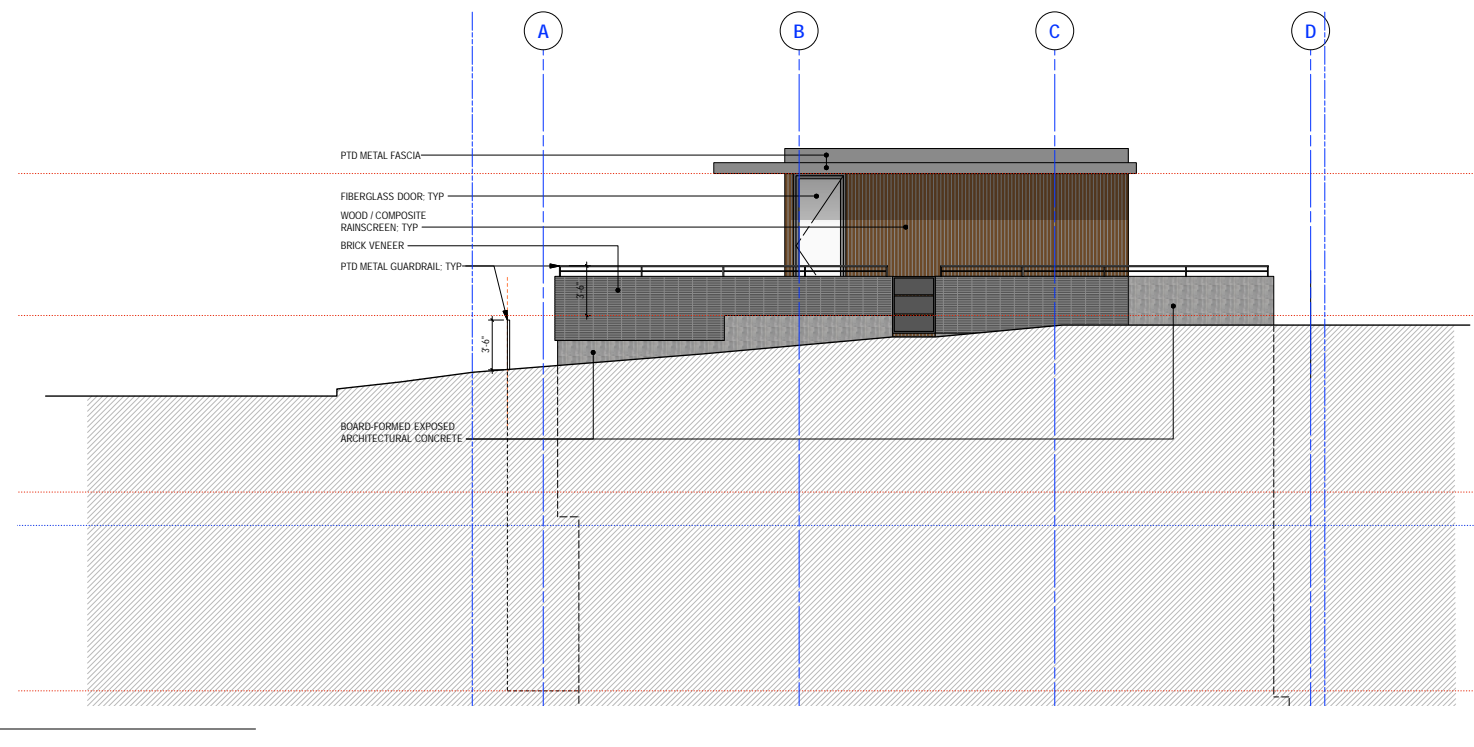
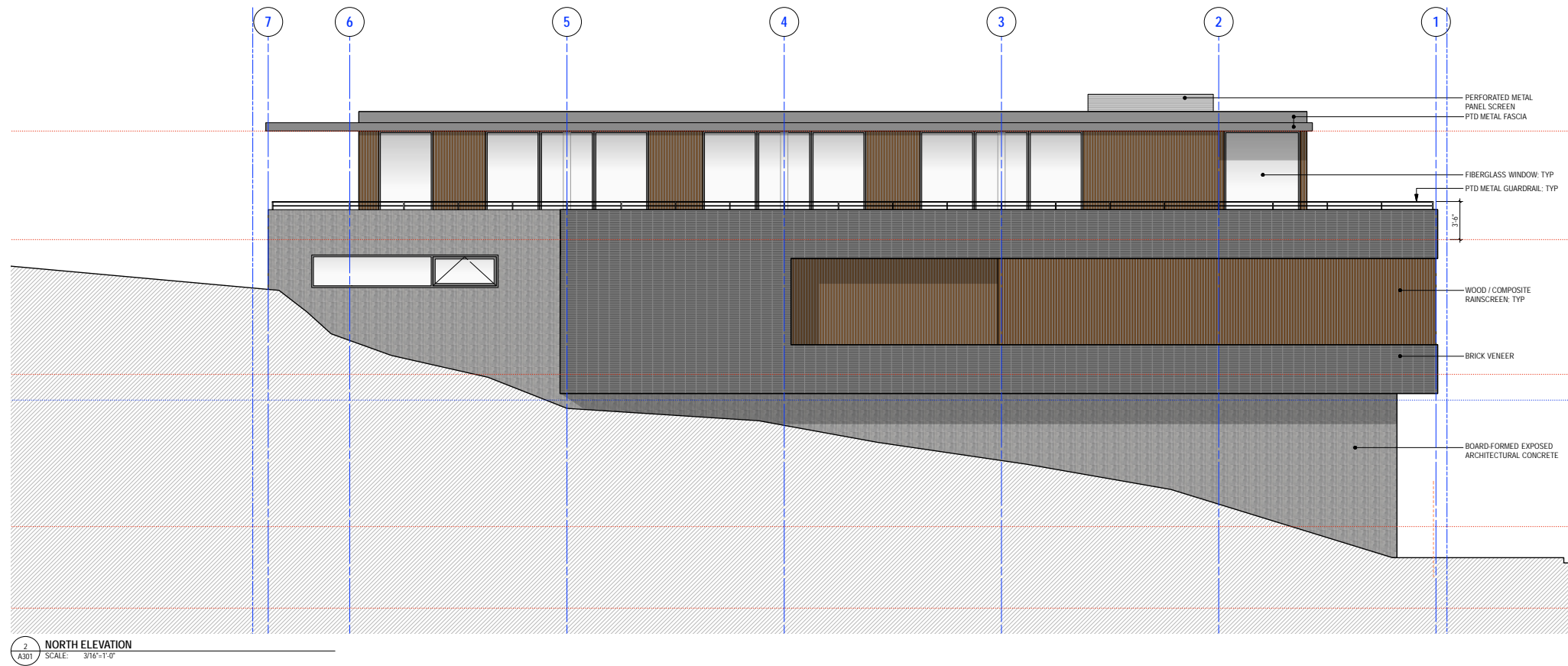


2 SOUTH ELEVATION  
A300 SCALE: 3/16"=1'-0"



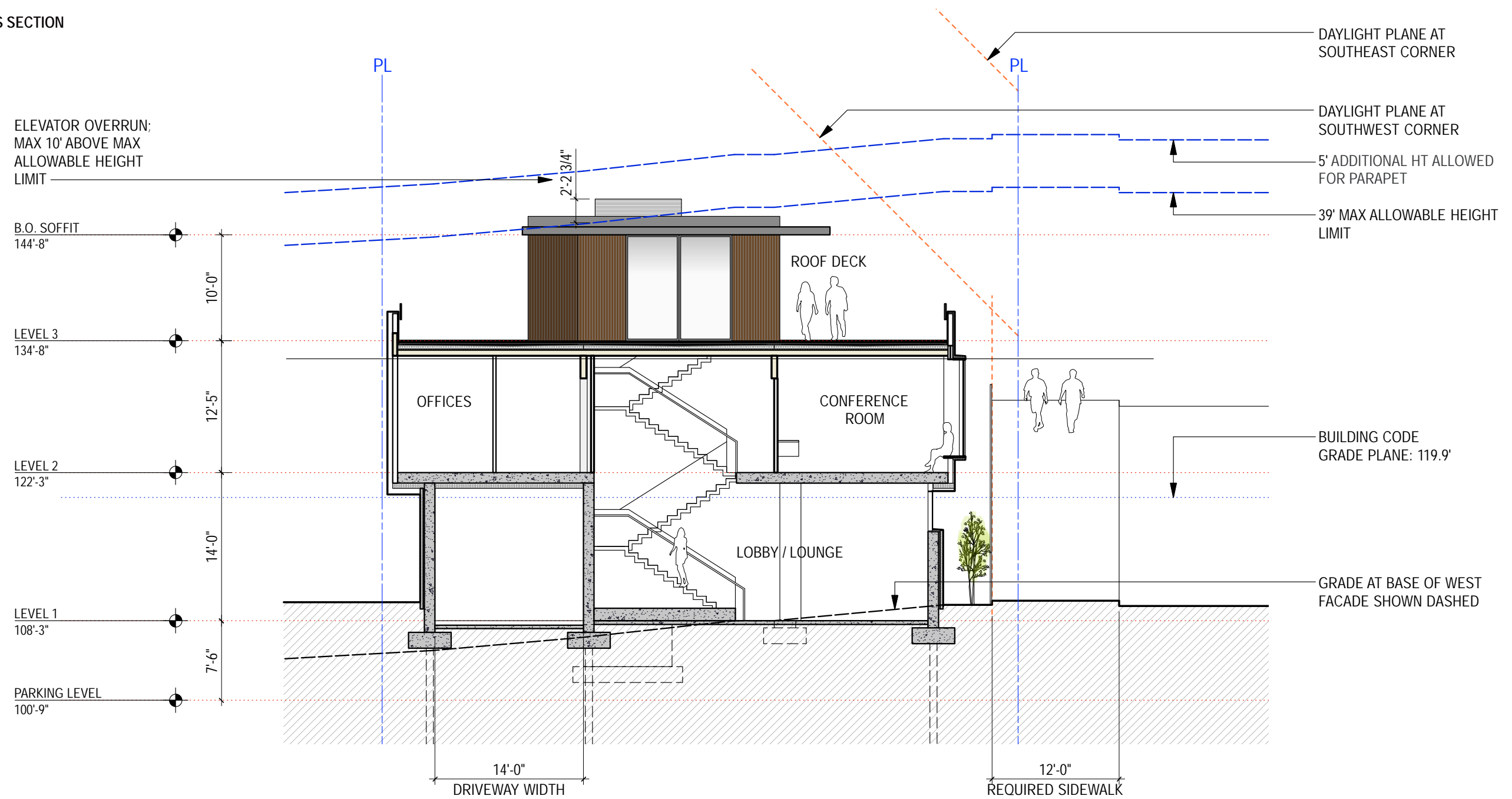
1 WEST ELEVATION  
A300 SCALE: 3/16"=1'-0"

# PROPOSED BUILDING EXTERIOR ELEVATIONS



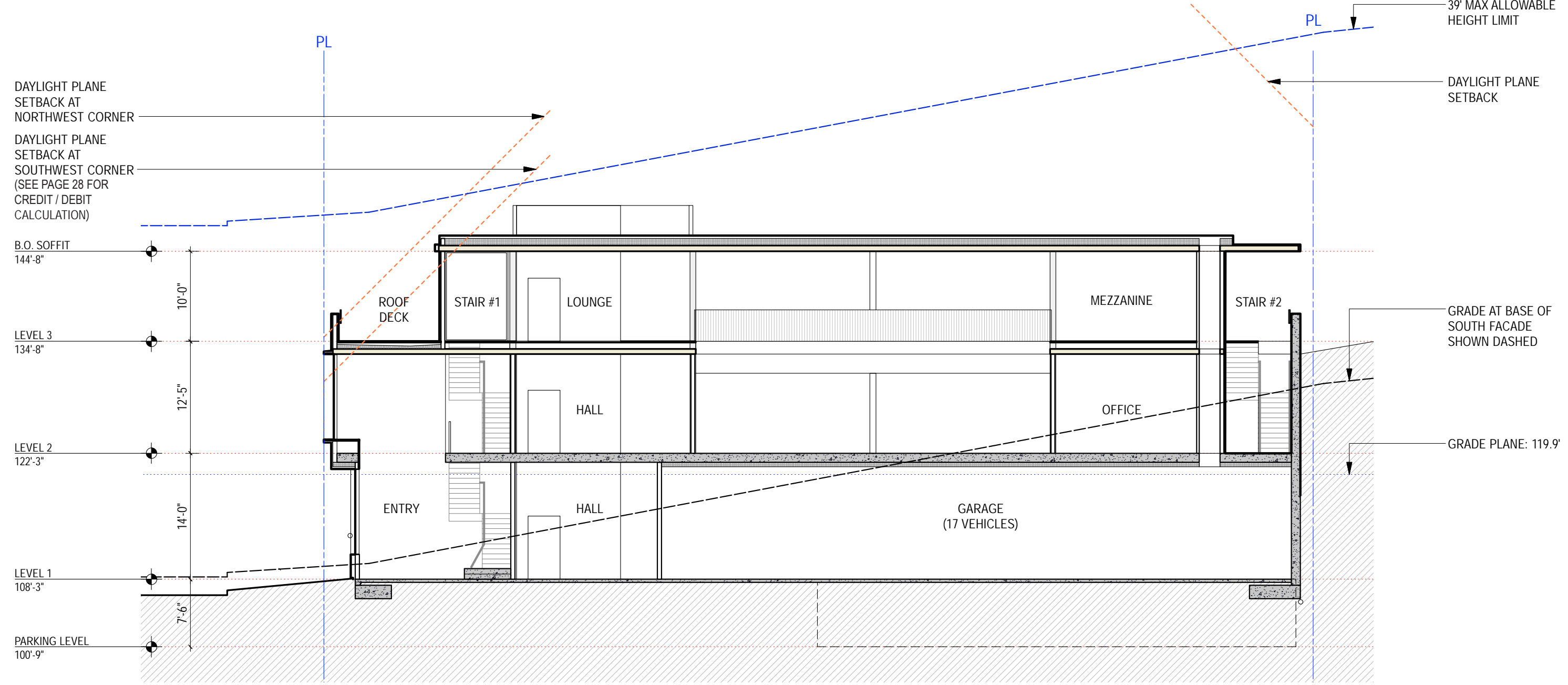
# PROPOSED BUILDING CROSS SECTION

BUILDING CROSS SECTION



PROPOSED BUILDING LONGITUDINAL SECTION

BUILDING LONGITUDINAL SECTION



# INTERIOR MATERIALS



The project shall meet the LEED Gold Standard, as identified in the above code section. Sustainability strategies will focus on energy efficiency, water efficiency, and indoor air quality.



**GOLD**  
60 - 79 POINTS

**LEED v4 for BD+C: New Construction**  
East Seattle Partners

Yes ? No

1	0	0	Integrative Process	Points Possible:	1
1			Credit 1 Integrative Process		1
<b>5</b>	<b>7</b>	<b>20</b>	<b>Location and Transportation</b>	<b>Points Possible:</b>	<b>32</b>
		<b>16</b>	Credit 1 LEED for Neighborhood Development Location		16
1			Credit 2 Sensitive Land Protection		1
	2		Credit 3 High Priority Site		2
2	3		Credit 4 Surrounding Density and Diverse Uses		5
	1	4	Credit 5 Access to Quality Transit		5
1			Credit 6 Bicycle Facilities		1
	1		Credit 7 Reduced Parking Footprint		1
1			Credit 8 Green Vehicles		1
<b>7</b>	<b>3</b>	<b>0</b>	<b>Sustainable Sites</b>	<b>Points Possible:</b>	<b>10</b>
PR			Prereq 1 Construction Activity Pollution Prevention		Required
1			Credit 1 Site Assessment		1
2			Credit 2 Site Development--Protect or Restore Habitat		2
1			Credit 3 Open Space		1
	3		Credit 4 Rainwater Management		3
2			Credit 5 Heat Island Reduction		2
1			Credit 6 Light Pollution Reduction		1
<b>8</b>	<b>3</b>	<b>0</b>	<b>Water Efficiency</b>	<b>Points Possible:</b>	<b>11</b>
PR			Prereq 1 Outdoor Water Use Reduction		Required
PR			Prereq 2 Indoor Water Use Reduction		Required
PR			Prereq 3 Building-Level Water Metering		Required
1	1		Credit 1 Outdoor Water Use Reduction		2
6			Credit 2 Indoor Water Use Reduction		6
	2		Credit 3 Cooling Tower Water Use		2
1			Credit 4 Water Metering		1
<b>17</b>	<b>13</b>	<b>3</b>	<b>Energy &amp; Atmosphere</b>	<b>Points Possible:</b>	<b>33</b>
PR			Prereq 1 Fundamental Commissioning and Verification		Required
PR			Prereq 2 Minimum Energy Performance		Required
PR			Prereq 3 Building-Level Energy Metering		Required
PR			Prereq 4 Fundamental Refrigerant Management		Required
3	3		Credit 1 Enhanced Commissioning		6
13	5		Credit 2 Optimize Energy Performance		18
1			Credit 3 Advanced Energy Metering		1
		2	Credit 4 Demand Response		2
	3		Credit 5 Renewable Energy Production		3
		1	Credit 6 Enhanced Refrigerant Management		1
	2		Credit 7 Green Power and Carbon Offsets		2

Yes ? No

2	9	2	Materials & Resources	Points Possible:	13
PR			Prereq 1 Storage and Collection of Recyclables		Required
PR			Prereq 2 Construction and Demolition Waste Management Planning		Required
	3	2	Credit 1 Building Life-Cycle Impact Reduction		5
	2		Credit 2 Building Product Disclosure and Optimization - Environmental Product Declarations		2
	2		Credit 3 Building Product Disclosure and Optimization - Sourcing of Raw Materials		2
	2		Credit 4 Building Product Disclosure and Optimization - Material Ingredients		2
2			Credit 5 Construction and Demolition Waste Management		2
<b>13</b>	<b>3</b>	<b>0</b>	<b>Indoor Environmental Quality</b>	<b>Points Possible:</b>	<b>16</b>
PR			Prereq 1 Minimum Indoor Air Quality Performance		Required
PR			Prereq 2 Environmental Tobacco Smoke Control		Required
2			Credit 1 Enhanced Indoor Air Quality Strategies		2
3			Credit 2 Low-Emitting Materials		3
1			Credit 3 Construction Indoor Air Quality Management Plan		1
1	1		Credit 4 Indoor Air Quality Assessment		2
1			Credit 5 Thermal Comfort		1
2			Credit 6 Interior Lighting		2
1	2		Credit 7 Daylight		3
1			Credit 8 Quality Views		1
1			Credit 9 Acoustic Performance		1
<b>6</b>	<b>0</b>	<b>0</b>	<b>Innovation in Design</b>	<b>Points Possible:</b>	<b>6</b>
1			Credit 1.1 Innovation: Exemplary Performance		1
1			Credit 1.2 Innovation: Exemplary Performance		1
1			Credit 1.3 Innovation: Pilot Credit		1
1			Credit 1.4 Innovation: Pilot Credit		1
1			Credit 1.5 Innovation: Green Building Education		1
1			Credit 2 LEED Accredited Professional		1
<b>1</b>	<b>3</b>	<b>0</b>	<b>Regional Priority (choose 4 of 6)</b>	<b>Points Possible:</b>	<b>4</b>
	1		Credit 1.1 Regional Priority: Rainwater Management (Threshold: 3 points from SSc4)		
1			Credit 1.2 Regional Priority: Indoor Water Use Reduction (Threshold: 4 points from WEc2)		
	1		Credit 1.3 Regional Priority: Renewable Energy Production (Threshold: 2 points from EAc5)		
	1		Credit 1.4 Regional Priority: Bldg Product Disclosure and Optimization (EPD or Raw Materials)		
<b>60</b>	<b>41</b>	<b>25</b>	<b>Total Project Points</b>	<b>Points Possible:</b>	<b>126</b>
Projected Level: LEED Gold					

Certified: 40-49; Silver: 50-59; Gold: 60-79; Platinum: 80+

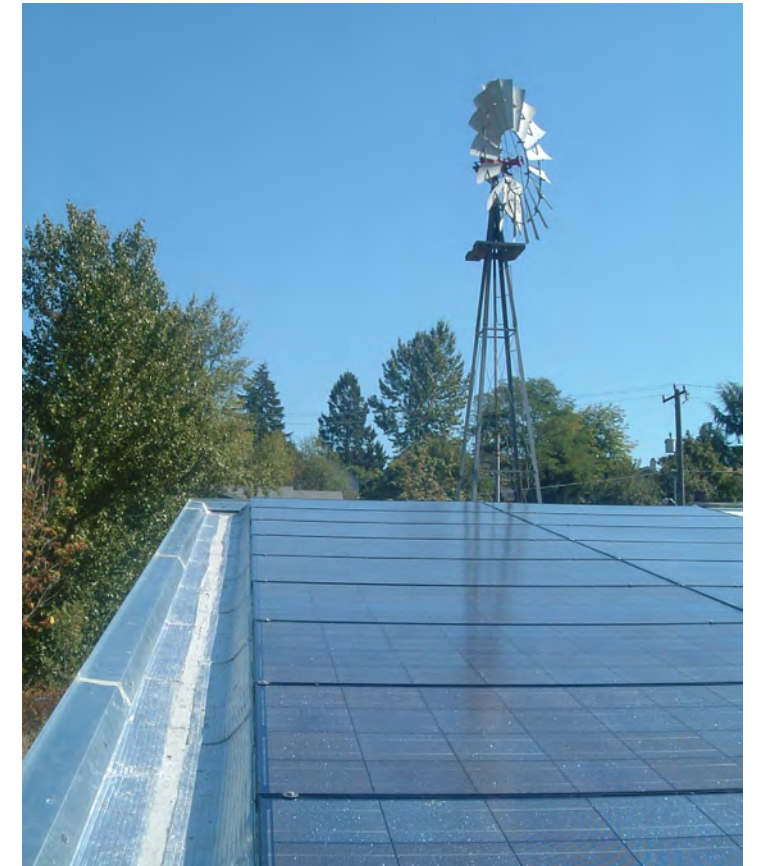


## EXAMPLES OF PAST WORK

Bradner Gardens  
Seattle, WA



2003 Seattle AIA, Honor Award Citation



Kenmore City Hall  
Kenmore, WA



2011 NW & Pacific Region AIA Merit Award



EXAMPLES OF PAST WORK



Anhalt Apartment Renovation and Addition  
[with East Seattle Partners]  
Seattle, WA



- 2016 NW & Pacific Region AIA Merit Award
- 2015 Seattle AIA Honor Award
- 2015 People's Choice Urban Design Awards, Second Place
- 2015 Historic Seattle Preserving Neighborhood Character Award



SCCA Patient House  
Seattle, WA



- 2011 Seattle AIA, Merit Award
- 2011 Pacific + NW Region, Honor Award
- 2011 Seattle AIA, Future Shack Award
- 2011 RADA Award





**CITY OF MERCER ISLAND  
DESIGN COMMISSION  
STUDY SESSION STAFF REPORT  
MAJOR NEW CONSTRUCTION**

**Agenda Item: 2  
November 14, 2018**

Project:	Xing Hua Group Ltd Mixed-Use Project (DSR18-018)
Description:	A Design Commission study session to review a proposed site development concept for a proposed new mixed-use project in the Town Center.
Applicant:	Guohai Lu
Site Addresses:	2885 78 <sup>th</sup> Ave SE; Identified by King County Tax Parcel # 531510-1326 and 275 77 <sup>th</sup> Ave SE; Identified by King County Tax Parcel # 531510-1316
Zoning District:	Town Center -4 (TC-4)
Exhibits:	1. Plan Set by Johnston Architects, dated received on October 24, 2018

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**1. SUMMARY**

The applicant is participating in a Design Commission study session to review a proposed site development concept for a proposed new mixed use building located in the Town Center - 4 (TC-4) zone. The site currently contains two buildings. One building is known as the King Building and hosts the Seven Seas restaurant, a laundromat and other businesses. The other building hosts Mud Bay and Mercer Island CrossFit. The proposal will provide 155 multi-family residential units, two levels of below grade parking that would provide 230 stalls and 16,900 square feet of retail. The property currently contains a two-floor retail building and a one-floor retail building along with associated parking and landscaping. All major new construction projects in the Town Center must undergo a study session before the Design Commission. The study session provides an opportunity to obtain feedback from the design commission early in the design review process.

As the project progresses through the application process, an open record public hearing will be scheduled in front of the Design Commission pursuant to Mercer Island City Code (MICC) 19.15.030 Table B. When the applicant formally comes before the Design Commission, the project must meet the criteria listed in MICC Section 19.11, Town Center Development and Design Standards.

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**2. STAFF ANALYSIS AND CRITERIA FOR REVIEW**

Pursuant to MICC 19.15.220(C)(1)(c), new buildings are subject to review by the Design Commission. MICC 19.15.220(C)(2)(a) requires any project that requires design commission approval to go before the design commission with a study session prior to application “to discuss project concepts before the plans are fully developed.” Using the preliminary information provided to the City by the applicant, planning staff conducted an initial cursory review of the project.

The applicant wants the study session to focus on some main topics and has some specific questions. The applicant would also appreciate general feedback on the proposed design.

The main topics of discussion are bulleted below:

- **Town Center Character**  
The design vision for Town Center is provided in MICC 19.11.010(D). This code section speaks to development and design standards, function, site features and pedestrian orientation. The style guidance is located in MICC 19.11.010(G). This code section states: “The objectives and standards do not set or encourage a particular style of architectures or design theme. However, building and site design shall be pedestrian in scale and address design features such as sloped roof lines; distinctive building shapes; integration of art, textures and patterns; treatment of pedestrian and public spaces; interface with the public right-of-way; landscaping; signage and façade treatments.” There are no code sections that speak specifically to character.

***The applicant is requesting the design commission to provide its vision of Town Center character.***

- **Building Massing and Modulation**  
Building mass and modulation is regulated by multiple code sections. Within these code sections, there are various methods for achieving desired mass and modulation. Mass and modulation are determined by height, setbacks, daylight plane, through-block connections, and façade modulation standards.

#### Height Limit

MICC 19.11.030(A) limits buildings in the TC-4 zone 51 feet. However, it allows an additional 5-feet for parapets and/or sloped roofs. The applicant is proposing to provide a sloped roof that will extend to the maximum building height of 56-feet.

***Is the height limit appropriately applied?***

#### Setbacks

MICC 19.11.030(A)(6)(a) states: “78th Avenue SE. All structures shall be setback so that space is provided for at least 15 feet of sidewalk between the structure and the face of the street curb, excluding locations where the curblines is interrupted by parking pockets. Additional setbacks are encouraged to provide for more pedestrian-oriented activities and to accommodate street trees and parking pockets. MICC 19.11.060(A)(3) states: “At least five feet of sidewalk width, in addition to the minimum sidewalk setback provided for in MICC 19.11.030(A)(6), may be provided along 78th Avenue SE, along the entire street frontage of the development site. Such additional sidewalk should be designed to provide additional pedestrian access where parking pockets narrow the sidewalk, to accommodate street trees and benches, or to create spaces for more pedestrian-oriented activities such as outdoor dining or seating.” The existing sidewalk is approximately 14-feet wide and incorporates parking pockets. The applicant is proposing a 15-foot setback along 78th Avenue SE. This 15-foot will incorporate parking pockets.

One of the applicant’s specific questions is about removing street trees in the right-of-way along 78th Avenue SE. MICC 19.11.120 requires street frontages along 77<sup>th</sup> Avenue and 78<sup>th</sup> Avenue to be improved as required in Figure 14 of MICC 19.11. MICC 19.11.120 allows the design commission to grant a modification to the nature or extent of any required street

improvements for 4 reasons. One of the reasons that could apply at this site would be reason(D) which states “If other unusual circumstances preclude the construction of the improvements as required.” Staff does not know of any unusual circumstances at the applicant’s site. To reconfigure the street frontage along 78th Avenue, the applicant is proposing to remove the street trees, and replant trees in a suitable number and type per the city arborists requirements. The trees are located at the back of the sidewalk which is not in conformance with Figure 14 because the trees separate pedestrians from the buildings, rather than separating traffic from pedestrians. The trees are outgrowing their tree grates and are becoming girdled by the grates. The city arborist has stated that the maples along 78th are not the best suited species to the site. The city arborist has stated that he will probably recommend removal. MICC 19.11.070(B)(2)(b)(i) states” “Prominent trees should be preserved to the fullest extent”. This is the only code section to the Town Center standards that addresses tree retention.

***If the arborist recommends removal of the trees, and the trees are replanted according to the city’s Streetscape Manual using city approved tree species, would the commission be ok with removal of the existing street trees?***

MICC 19.11.030(A)(6)(b) states: “All Other Public Rights-of-Way. All structures shall be setback so that space is provided for at least 12 feet of sidewalk between the structure and the face of the street curb, excluding locations where the curblineline is interrupted by parking pockets. Additional setbacks along SE 32nd Street are encouraged to provide space for more pedestrian-oriented activities and to accommodate street trees and parking pockets.” Setbacks along SE 29<sup>th</sup> Street and 77<sup>th</sup> Avenue SE are proposed to be 12-foot wide, however portions of the building will be set back more as explained in the Daylight Plane section below.

***Do the proposed setbacks meet the intent of the code?***

Daylight plane

MICC 19.11.030(A)(7) requires block frontages along streets to integrate upper level building setbacks. The setbacks only apply to block frontages and shall consider only the first 30 feet of depth as stated in MICC 19.11.030(A)(7)(b)(ii). The applicant has elected not to step back the building at the upper stories to achieve the daylight plane requirements. Instead, the entire building would set back at different extents of the façade and would modulate to create daylight access. On 29<sup>th</sup> Street, the angular modulations that would setback and the south plaza would provide significant daylight access to the south side. On 78<sup>th</sup> Ave, the angular modifications, south plaza, midblock plaza and the north through block connection would provide large areas of daylight access. On 77<sup>th</sup> Ave, the through block connection, access easement to the south, and the notches in the façade which also serve to modulate the building would provide daylight access.

***Is the proposed approach to meeting the daylight plane standard acceptable?***

Through-Block Connections

The applicant’s property is listed on Figure 7 of MICC 19.11 as being a preferred through-block pedestrian connection location. The applicant is proposing to incorporate a 20-foot wide through-block connection that extends from 78<sup>th</sup> Avenue SE to 77<sup>th</sup> Avenue SE along their northern property line.

The applicant has a specific question for the walking path width of a through block connection. The applicant wants to know what the width of the walking path in the through-block connection should be? The code does not state how wide the walking path width in a through block connection must be. Through block connections must be 20-feet wide pursuant to MICC 19.11.060(E)(2)(a). Pursuant to MICC 19.11.060(E)(2)(b), the connection shall provide pedestrian amenities such as seating areas, landscaping, art features, etc. These features will consume some of the required 20-foot width.

***What is an acceptable width for the walking path area per the design commissions understanding of a through block connection?***

Façade Modulation Standards

The Town Center Code requires two types of modulation; major façade modulation and minor façade modulation. Major façade modulation, as provided in MICC 19.11.100(B)(3), provides three options for modulation, the intent of which is to "...at intervals no greater than 120 feet to break up the massing of the block. The design commission may approve modifications or alternatives to the following features if the proposed modulation is at least as aesthetically acceptable as one of the following features..." In summary, the features are either (a) vertical building modulation at least 20 feet deep and 30 feet wide. For multi-story buildings, the modulation must extend through more than one-half of the building stories. (b) Use of a significant contrasting vertical modulated design component featuring an extension through all stories above the first story fronting on the street except for upper stories that are setback more than 10 feet from the façade, a change in building materials that create contrast, horizontal modulation from the façade by an average of 24 inches, or roofline modulation. (c) Building walls with contrasting articulation and roofline modulation that make it appear like two or more distinct buildings. The contrasting facades shall employ (i) different materials and or configuration of building materials, and (ii) contrasting window design.

All buildings are subject to minor façade modulation as provided in MICC 19.11.100(B)(4), "...to reduce the perceived scale of large buildings and add visual interest to facades..." "...At least three of the following features shall be employed at intervals no greater than 50 feet subject to design commission approval taking into account the nature of the development and the site:

- a. Window fenestration patterns and/or entries;
- b. Use of vertical piers/columns;
- c. Change in roofline;
- d. Change in building material or siding style;
- e. Vertical elements such as a trellis with plants, green wall, art elements;
- f. Vertical building modulation of at least 12 inches in depth if tied to a change in roofline modulation or a change in roofline modulation or a change in building materials, siding style, or color; or
- g. Other design techniques approved by the design commission that reinforce a pattern of small storefronts (or residences, if residential uses are used).

***Do the graphics provided show adequate modulation?***

- Design Qualities/Opportunities
  - South Plaza
  - 78<sup>th</sup> Street Boulevard

### -Thru-Block Connection

The applicant will be providing plazas and/or pedestrian amenities at the above locations. Two options have been provided; Option A and Option B.

MICC 19.11.060 requires minor site features and major site features. Pursuant to MICC 19.11.060(A), at least three minor site features shall be provided. Minor site feature options include decorative landmarks, kiosks, and additional sidewalk setback along 78<sup>th</sup> Ave. Pursuant to MICC 19.11.060(B), at least one major site feature shall be provided. A major site feature may be a through-block connection or public open space. Pursuant to the same code section, the applicant's property must provide a through-block connection since it is adjacent to a preferred through-block connection as shown on Figure 7 of the code.

#### Minor Site Features:

Options A and B shows identical landscaping and seating along 78<sup>th</sup> Avenue. Additional sidewalk setback is provided adjacent to the building modulation on 78<sup>th</sup> Avenue. Option A provides raised planters with wood plinth set/tables at the open space in the southwestern corner of the property. Option B provides seat walks and a porch swing at the open space in the southwestern corner of the property.

#### Major Site Features:

Options A and B both provide a through block connection and public open space. The through-block connection extends along the north property line. The public open space is provided at the southeast corner of the property. Pursuant to MICC 19.11.060(B)(1), the total area of the through block connection and the public open space must equal or exceed 3% of the gross floor area of the development. The gross floor area is not yet available so compliance with this section cannot be determined. The applicant will need to demonstrate compliance with their formal application.

#### Other Site Features:

Pursuant to MICC 19.11.060(C), the design commission may approve other major or minor site features in place of those listed in the minor site feature and major site feature sections.

### ***What types of decorative landmarks or kiosks or other site features should the applicant provide as minor or major site features?***

The applicant appreciates any input the Design Commission is willing to share in addition to the specific topics above.

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### **III. RECOMMENDATION**

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There is no recommended motion at this time, as this is a Design Commission study session.



2885 78th Ave SE and 2750 77th Ave SE  
MULTI-FAMILY PROJECT

**MERCER ISLAND DESIGN REVIEW STUDY SESSION**

11/14/2018



- SITE
- MIX-USE / RESIDENTIAL
- COMMERCIAL
- PREFERRED THROUGH BLOCK CONNECTION LOCATION

We are currently designing a proposed 155 unit multi-family residential building in the center of the Mercer Island retail core. Covering most of an entire city block, the project is located between the QFC and New Seasons Market, approximately 3 blocks south of Interstate 90. The proposed 4-story building (above grade) would include two level of below grade parking (230 stalls) and approximately 16,900sf of retail. The majority of the retail is located on the east side of the site (facing QFC).

**ADDRESS:** 2750 77th Ave. SE & 2885 78th Ave. SE  
**PARCEL#:** 531510-1326 & 5131510-1316  
**LOT SIZE:** 20,075 + 43,705 = 63,780 SF  
**ZONING:** TC-4  
**USES:** Residential, restaurant, retail, service, special needs housing.  
**STREETFRONT** (19.11.020)  
**OCCUPANCY:** If public parking is provided, 40% min shall be occupied by retail, restaurant and personal service use. A max 60% can be occupied by hotel, personal care service, or office. Driveway, service and truck loading, parking garage and lobbies are not counted.  
**PROJECT DESCRIPTION:** Proposal for new multi-story residential mixed-use building, 4 stories above grade and 1 story basement.  
**HEIGHT LIMIT**  
 MAX Height: 51'-0" (additional 5'-0" allowed for parapet/

sloped roof)  
 Ground Floor Height: 15'-0" min and 27'-0" max

**SETBACKS:**  
 45 degree angle up setback required for upper stories (above 25')  
 12'-0" setback between structure and the face of the street curb.  
 15'-0" setback on 78th Ave. SE.

**STOREFRONT DIMENSIONS**  
 MIN in depth: 16'-0"; MAX in length: 60'-0" continuous linear

**AFFORDABLE HOUSING:** 10% of the total units to qualify for bonus building height over two stories. 60% of median income for rental, 90% of median income for ownership housing.

**PARKING:** 1 to 1.4 per unit for residential  
 2-3 per 1,000 SF for general retail  
 (5-10 per 1,000 SF for restaurant/deli/bakery/food)  
 3-5 per 1,000 SF for general office

**Study Session Topics:**

- Town Center Character
- Building Massing and Modulation

**Design Qualities/Opportunities:**

- South Plaza
- 78th Street Boulevard
- Thru-Block Connection





Wooded Residential Neighborhoods



Community Events



Lots of Parks



Scenic Shoreline Amenity

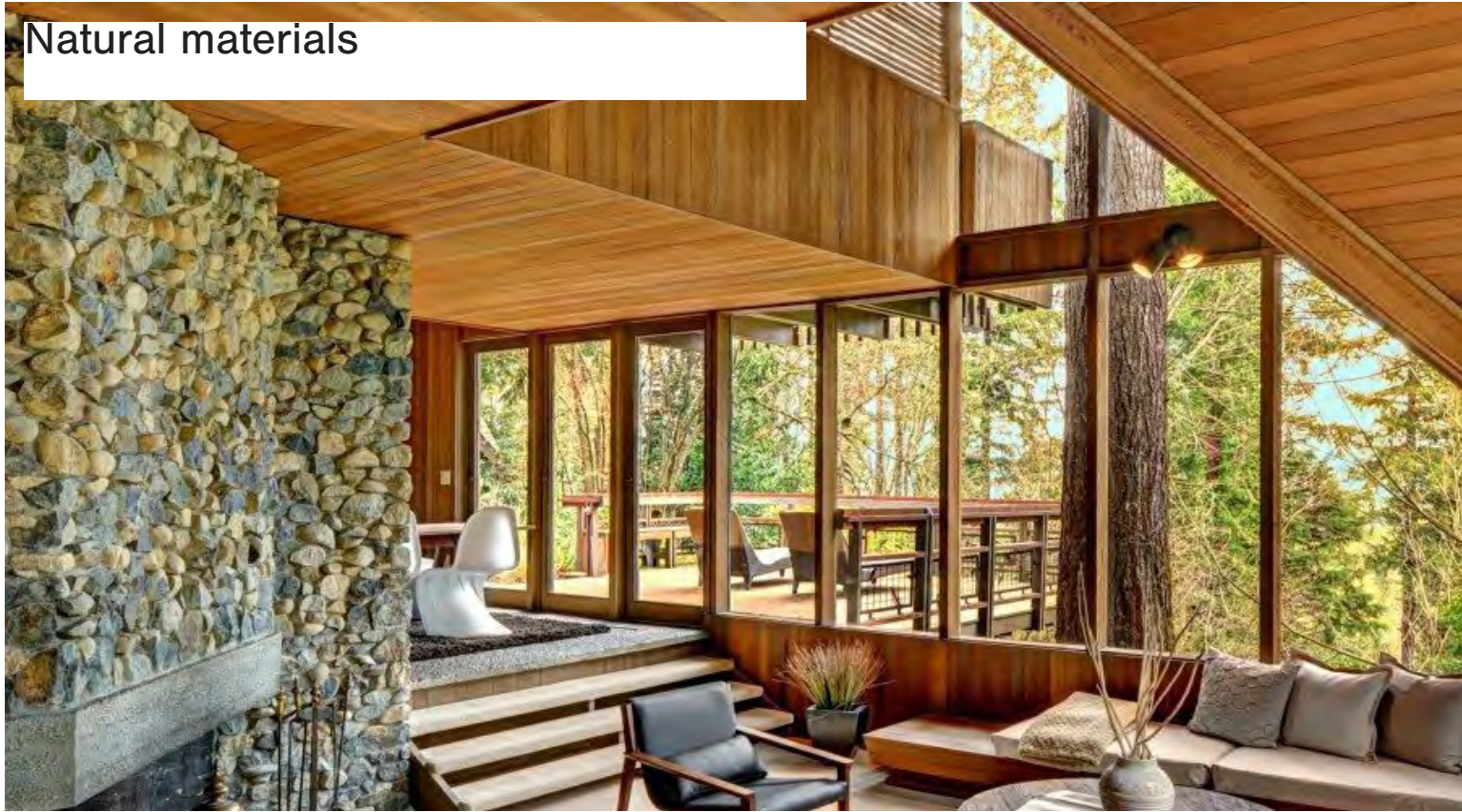


I90-Seattle/Bellevue Connection



Emerging Town Center

Natural materials



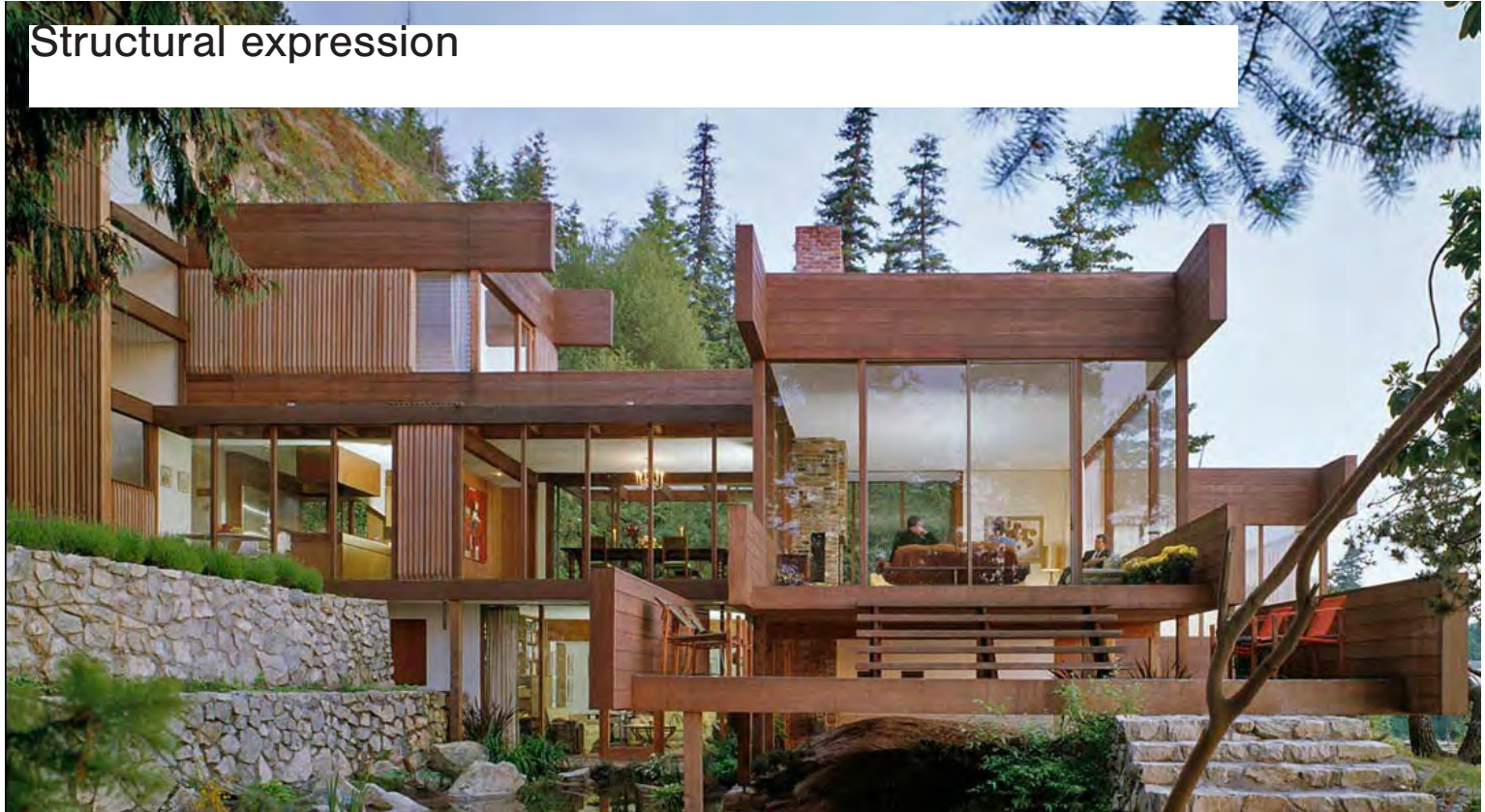
Indoor Outdoor connections



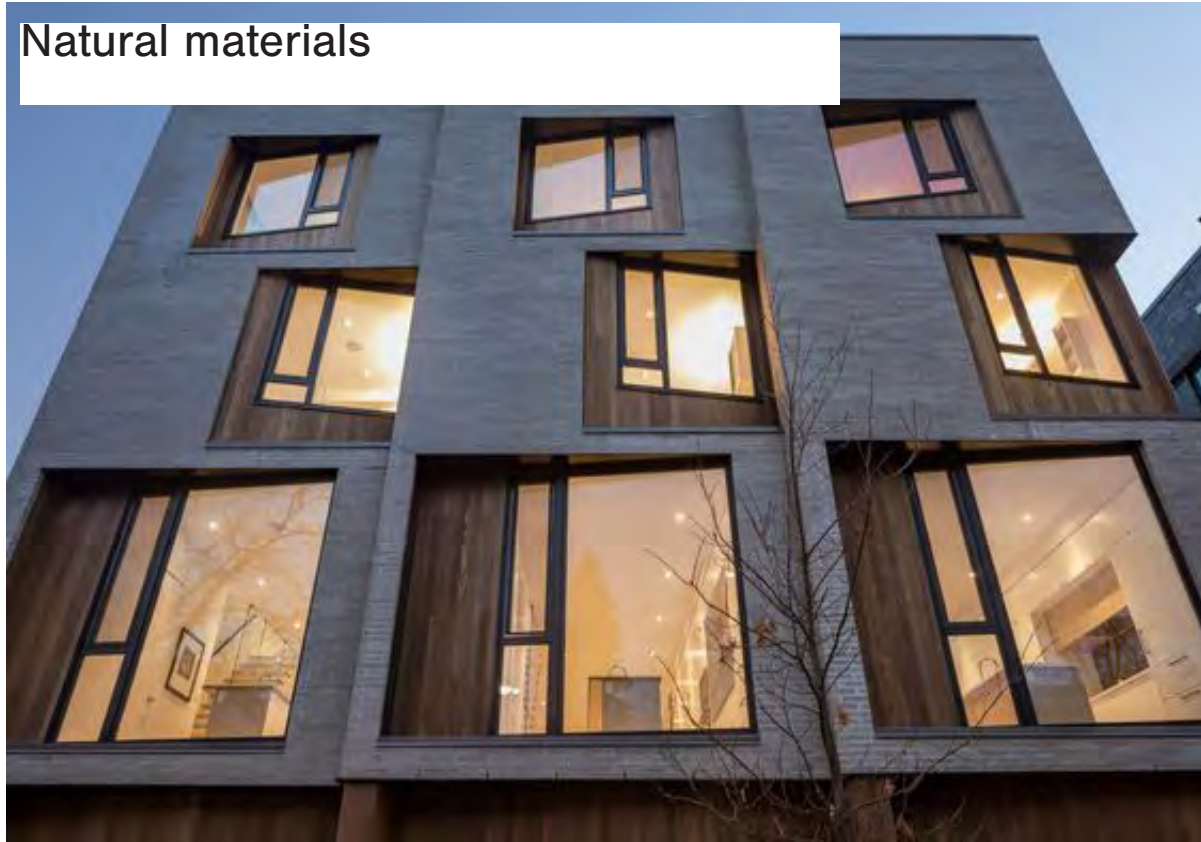
Expansive Windows



Structural expression



Natural materials



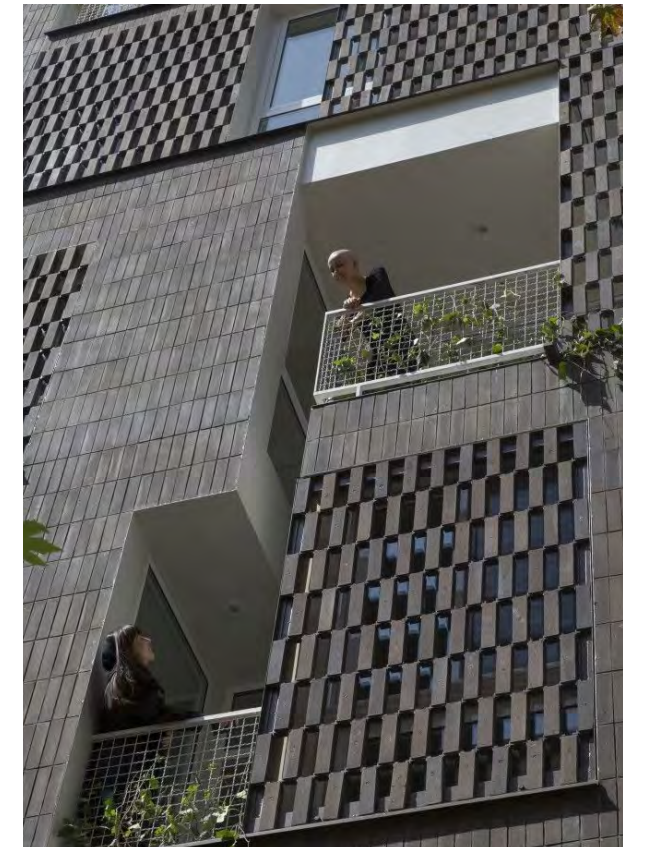
Structural Expression

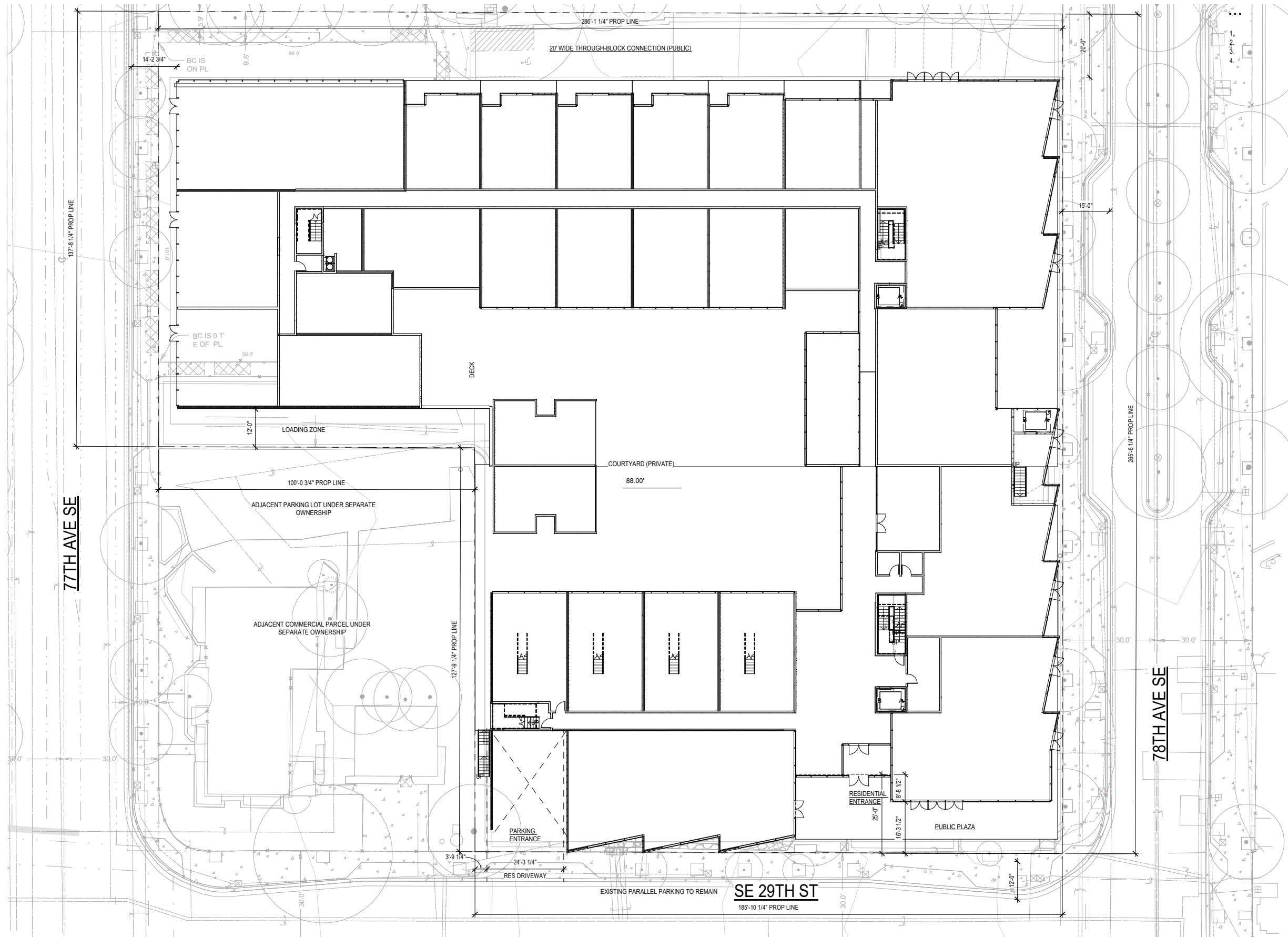


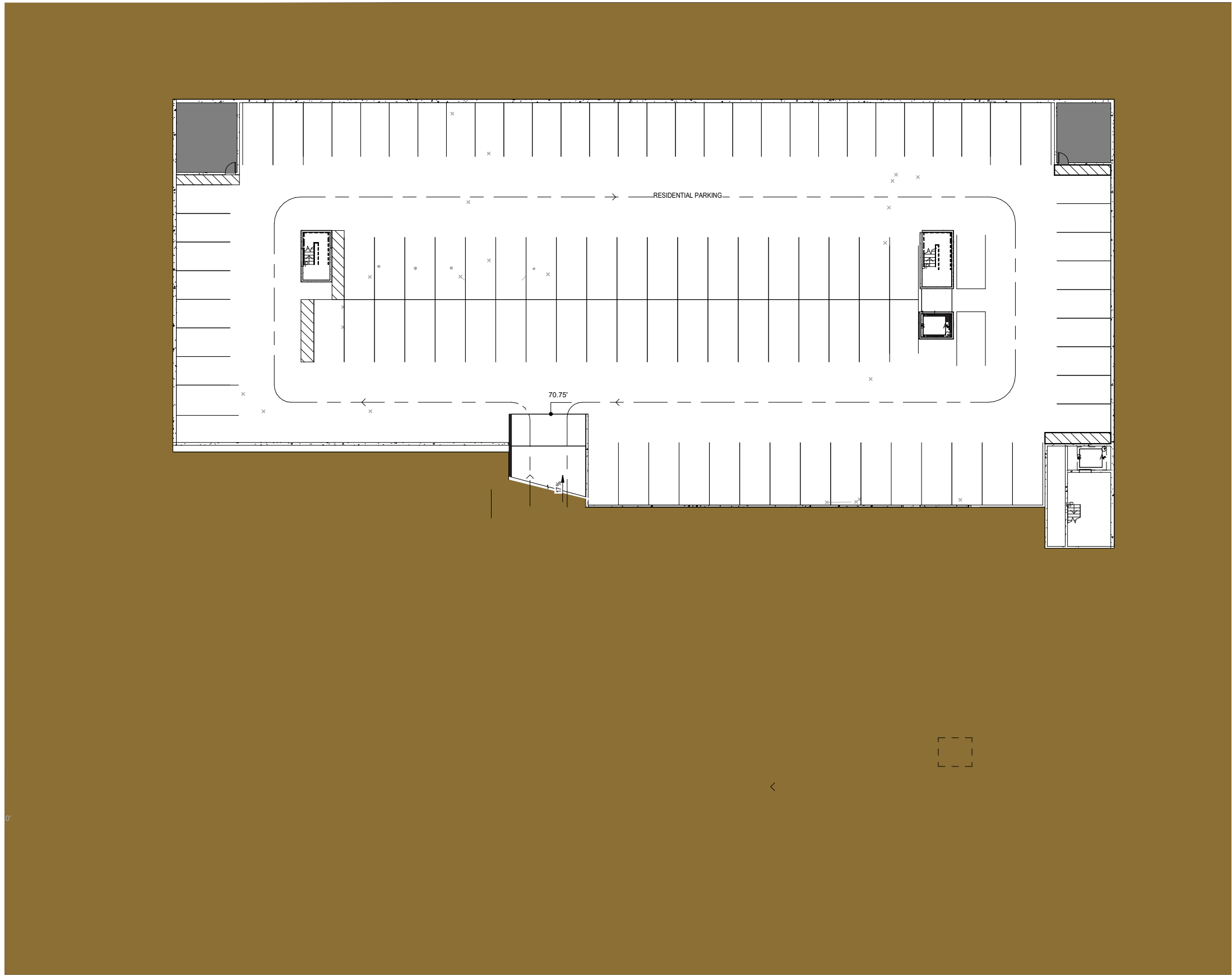
Expansive windows

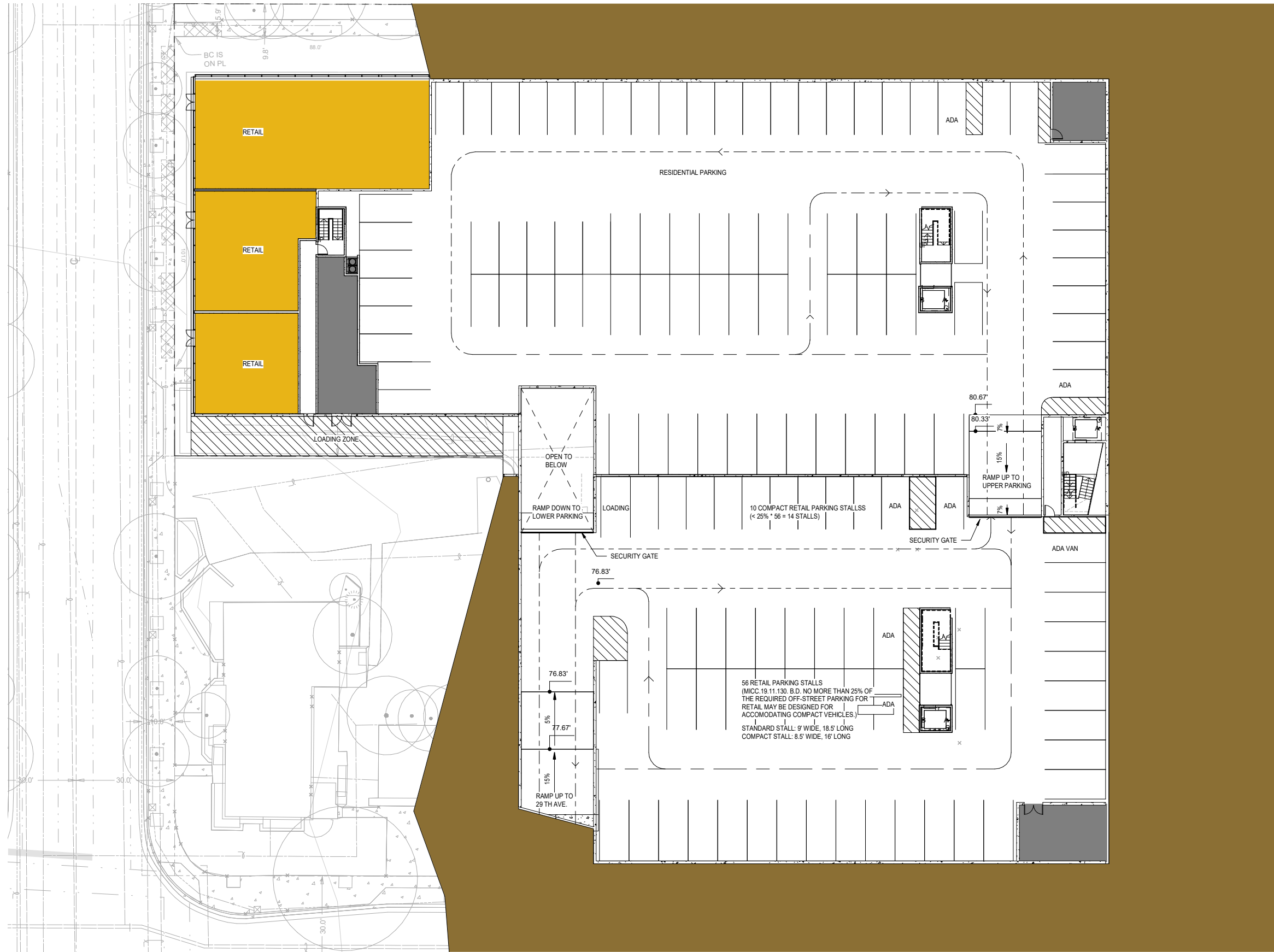


Indoor Outdoor connections







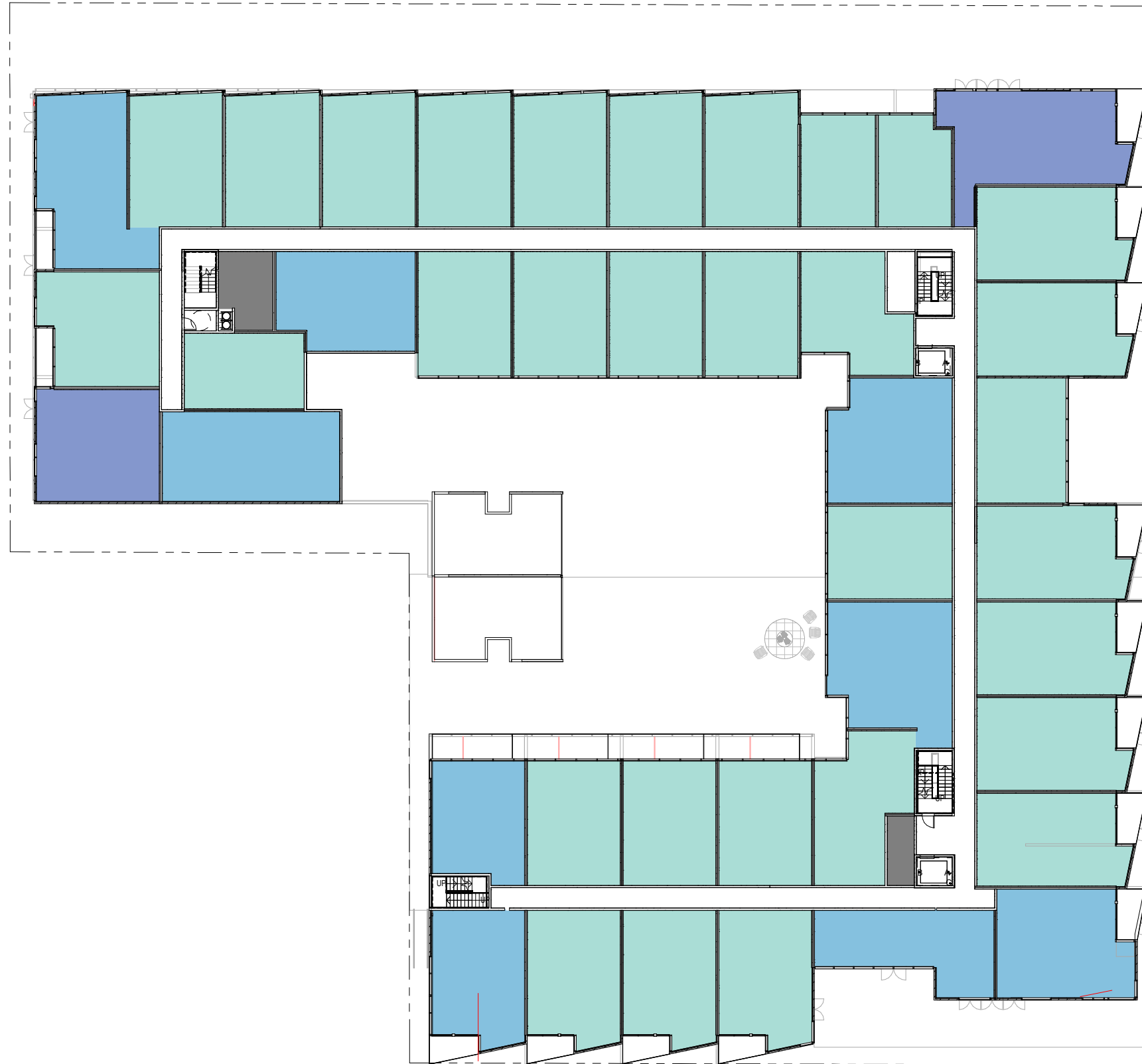


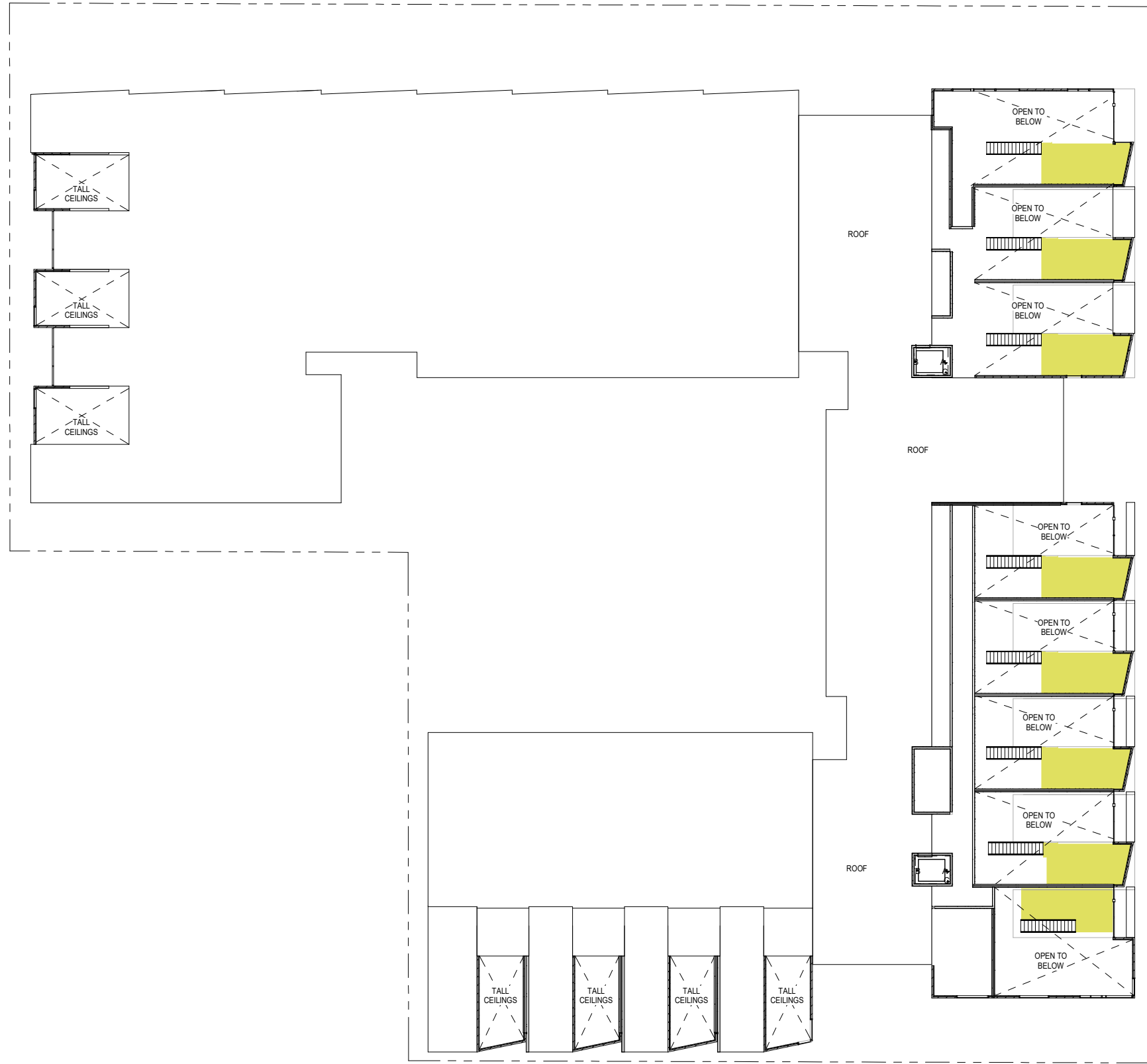


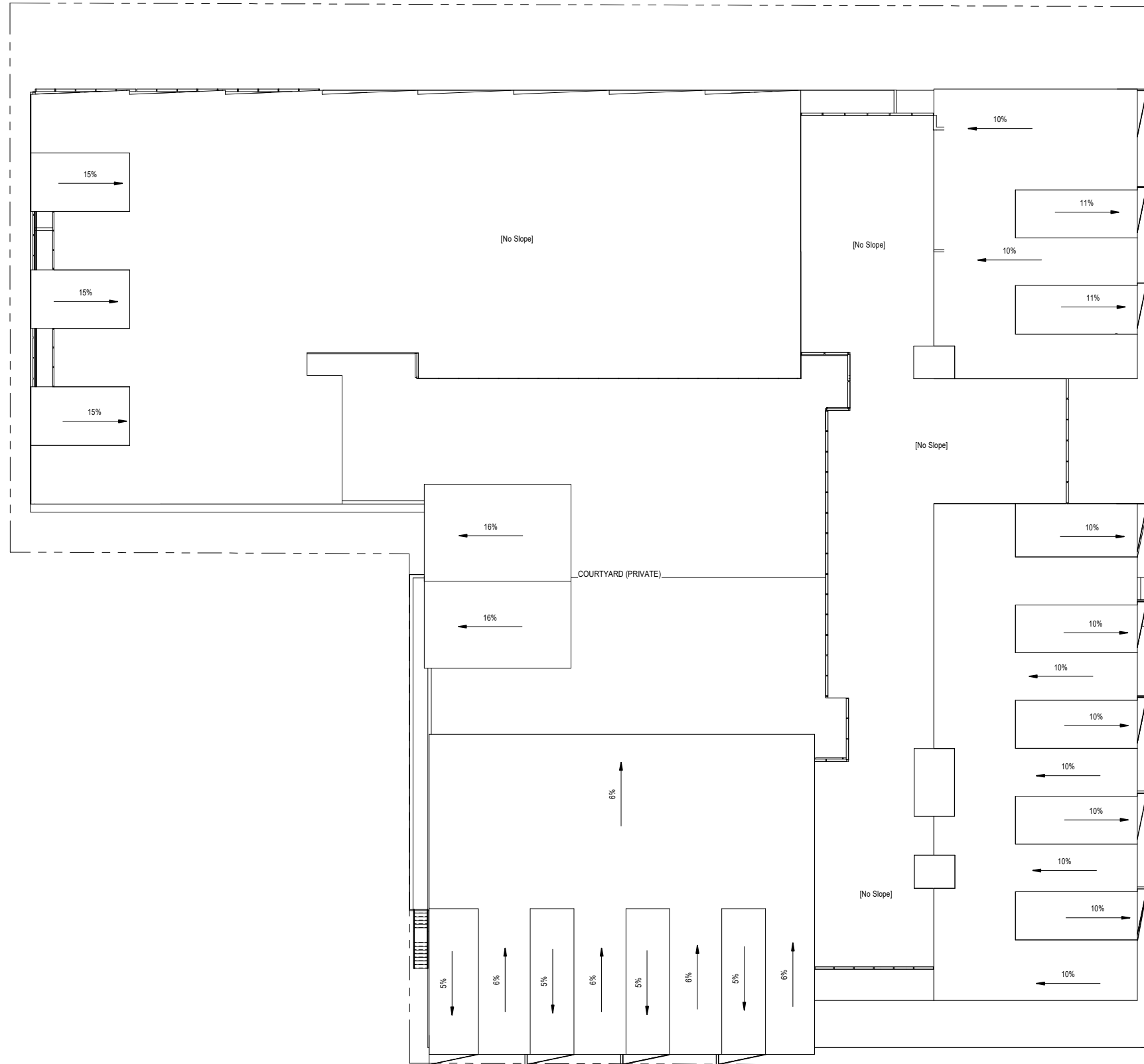


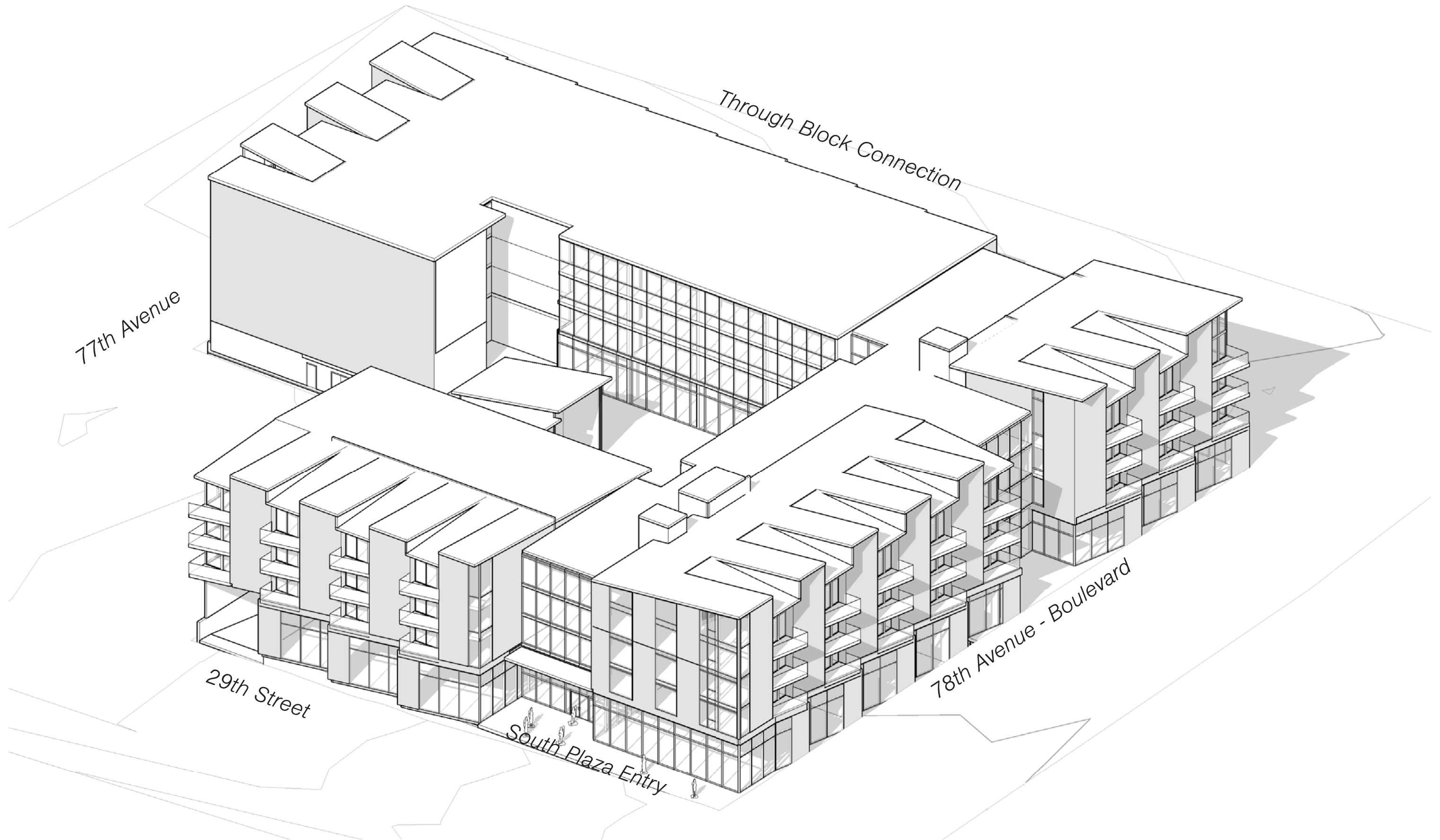


3/1 PMW











EAST ELEVATION - 78TH AVENUE



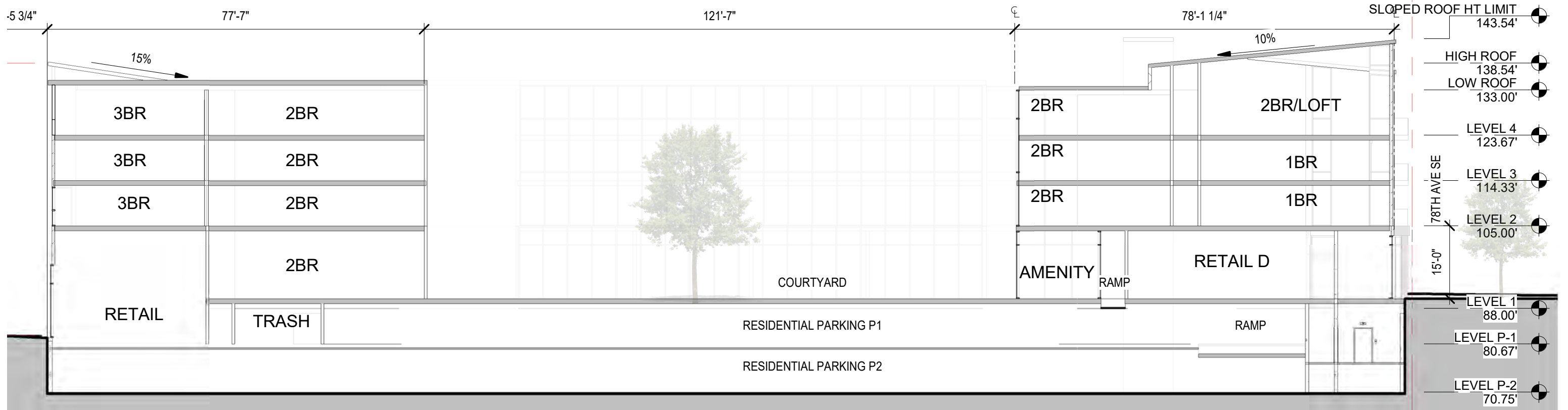
SOUTH ELEVATION - 29TH STREET



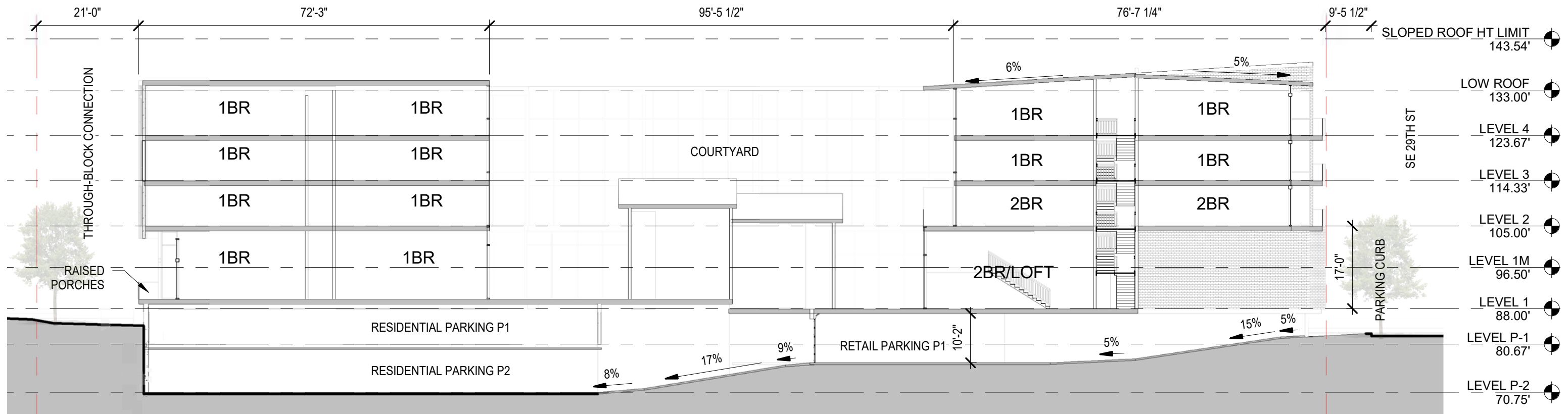
NORTH ELEVATION - THRU BLOCK PASSAGEWAY



WEST ELEVATION - 77TH AVE



EAST-WEST BUILDING SECTION LOOKING NORTH



NORTH-SOUTH BUILDING SECTION LOOKING EAST

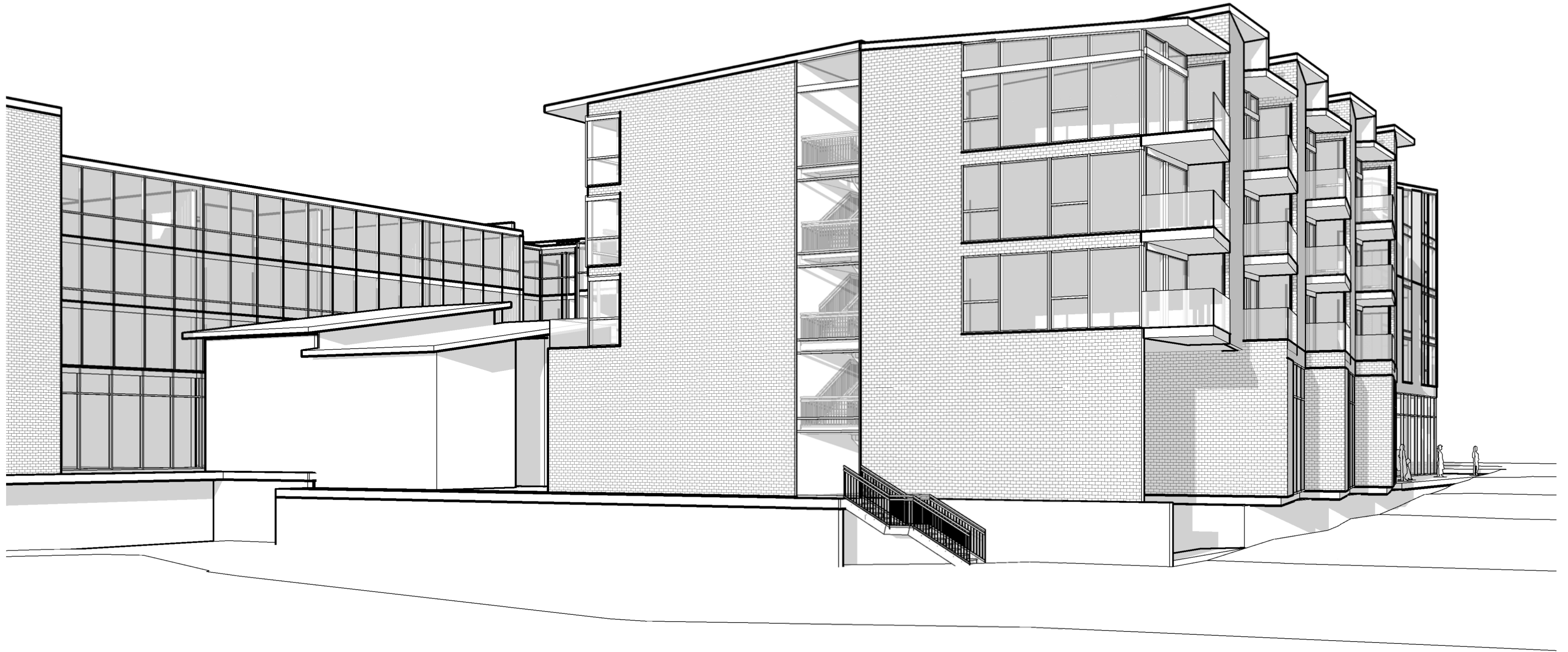


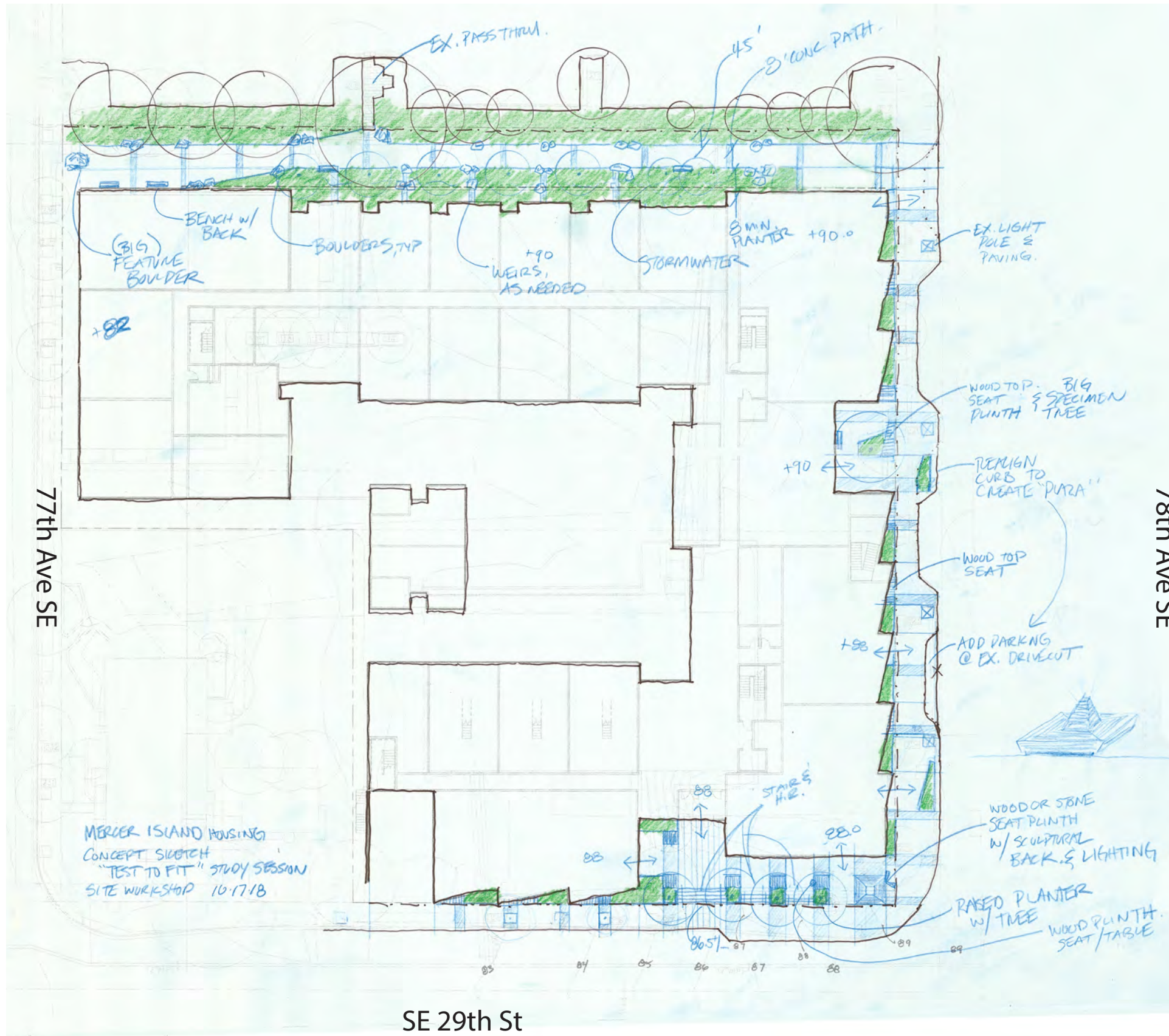








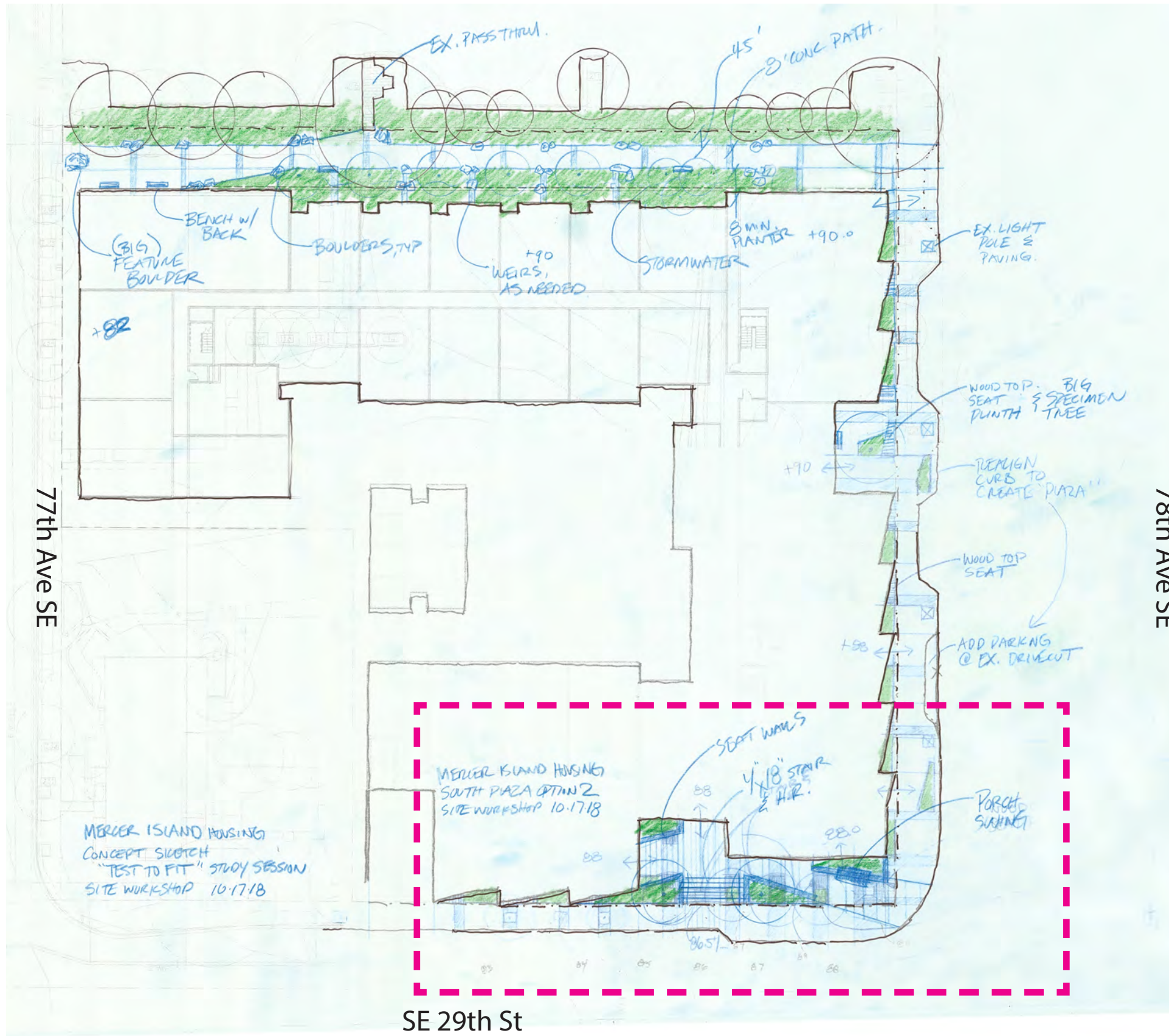




MERCER ISLAND HOUSING  
 CONCEPT SKETCH  
 "TEST TO FIT" STUDY SESSION  
 SITE WORKSHOP 10.17.18

Option A: Seat Docks





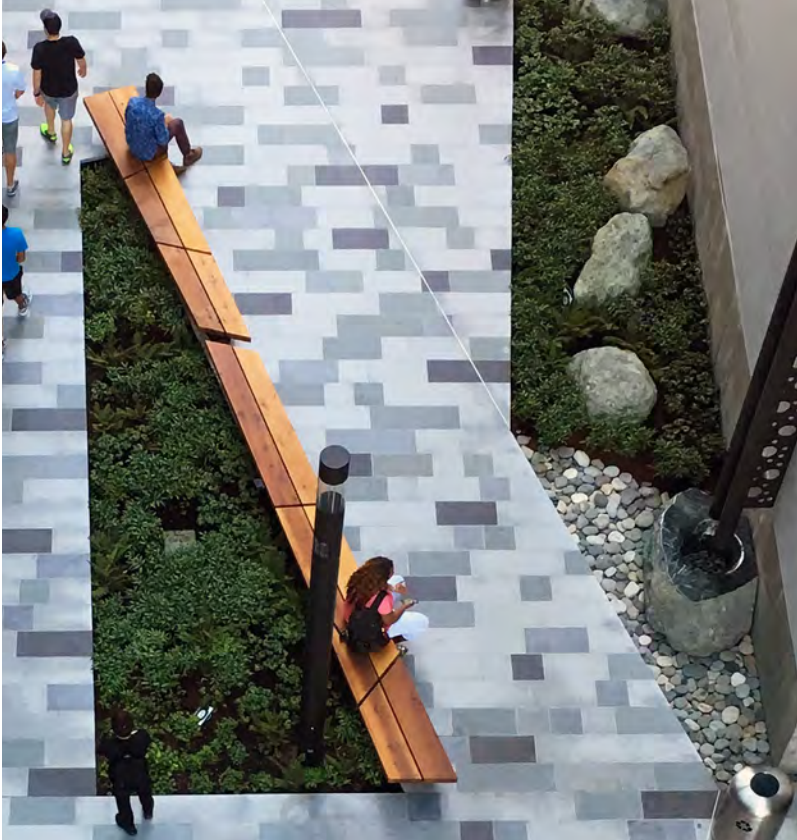
MERCER ISLAND HOUSING  
 CONCEPT SKETCH  
 "TEST TO FIT" STUDY SESSION  
 SITE WORKSHOP 10.17.18

SE 29th St

Option B: Front Porch

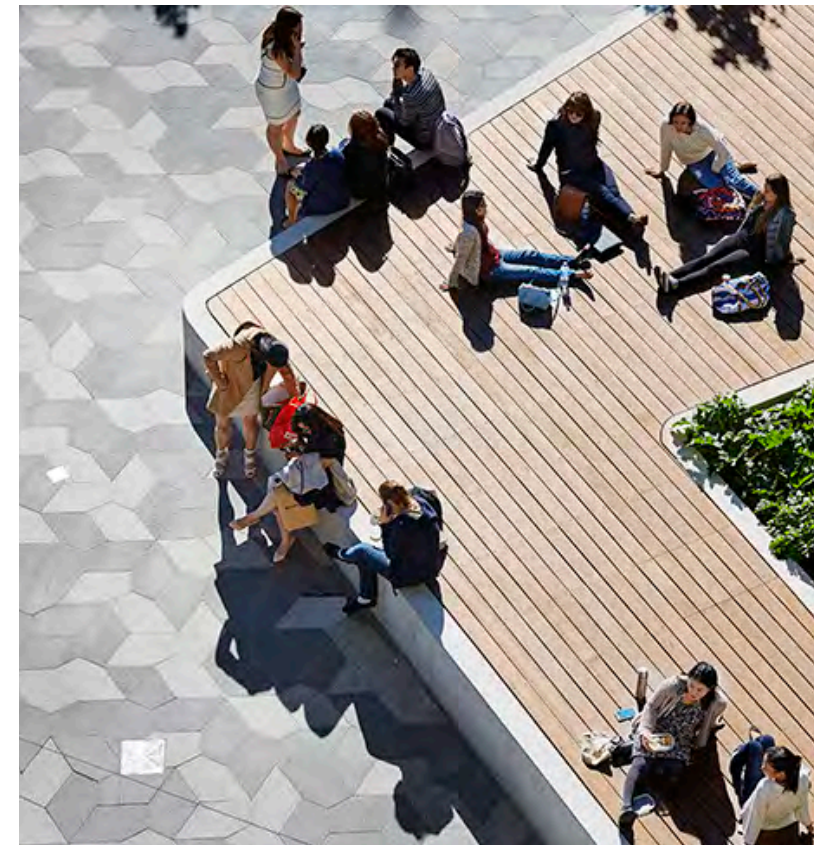
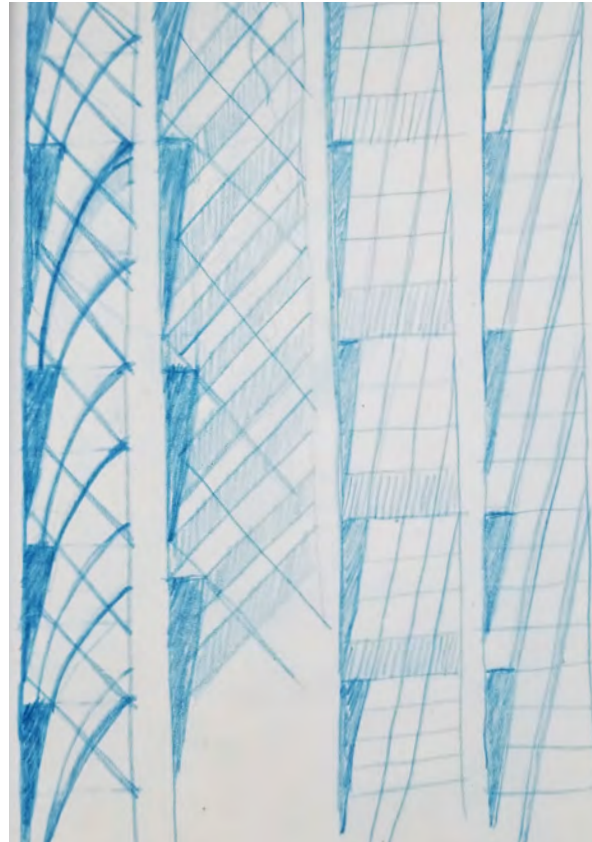


Pedestrian Through-Block Connection

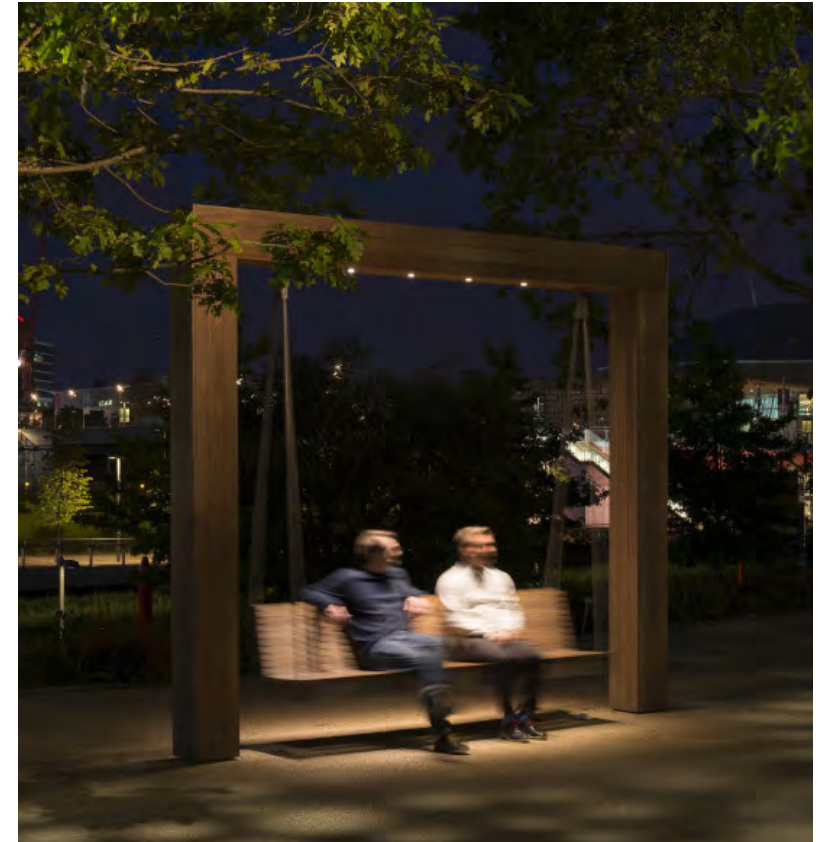




# Special Paving



## Decorative Landmarks



## Public Street Improvements





- Recessed Windows
- Projecting Trim
- Brick Pattern Accents
- Recessed Windows
- Dark Window Frames
- Red Blend Brick



- Metal Roof, Trim & Soffit
- Dark Metal Accents
- Wood Accents
- Frosted Glass Railing
- Red Blend Brick



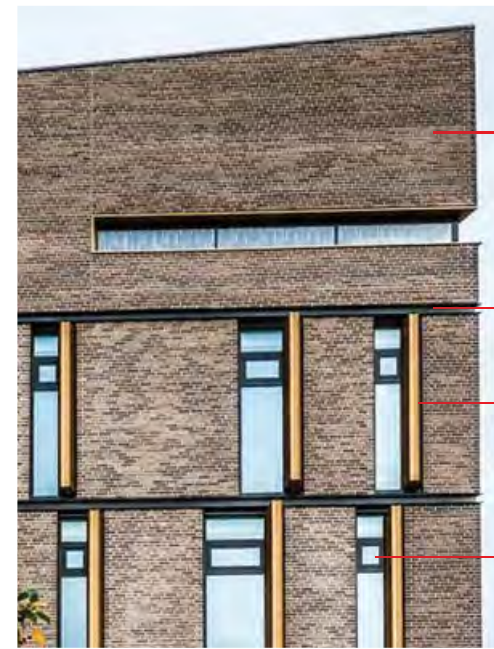
- Deep recessed windows
- Brick Accents
- Vertical Picket Railings
- Flush windows
- Dark Window Frames
- Lighter Beige Brick



- Deep Grout Joints
- Recessed Windows
- Wood Window Frames
- Metal Vertical Railings
- Gray Blend Brick

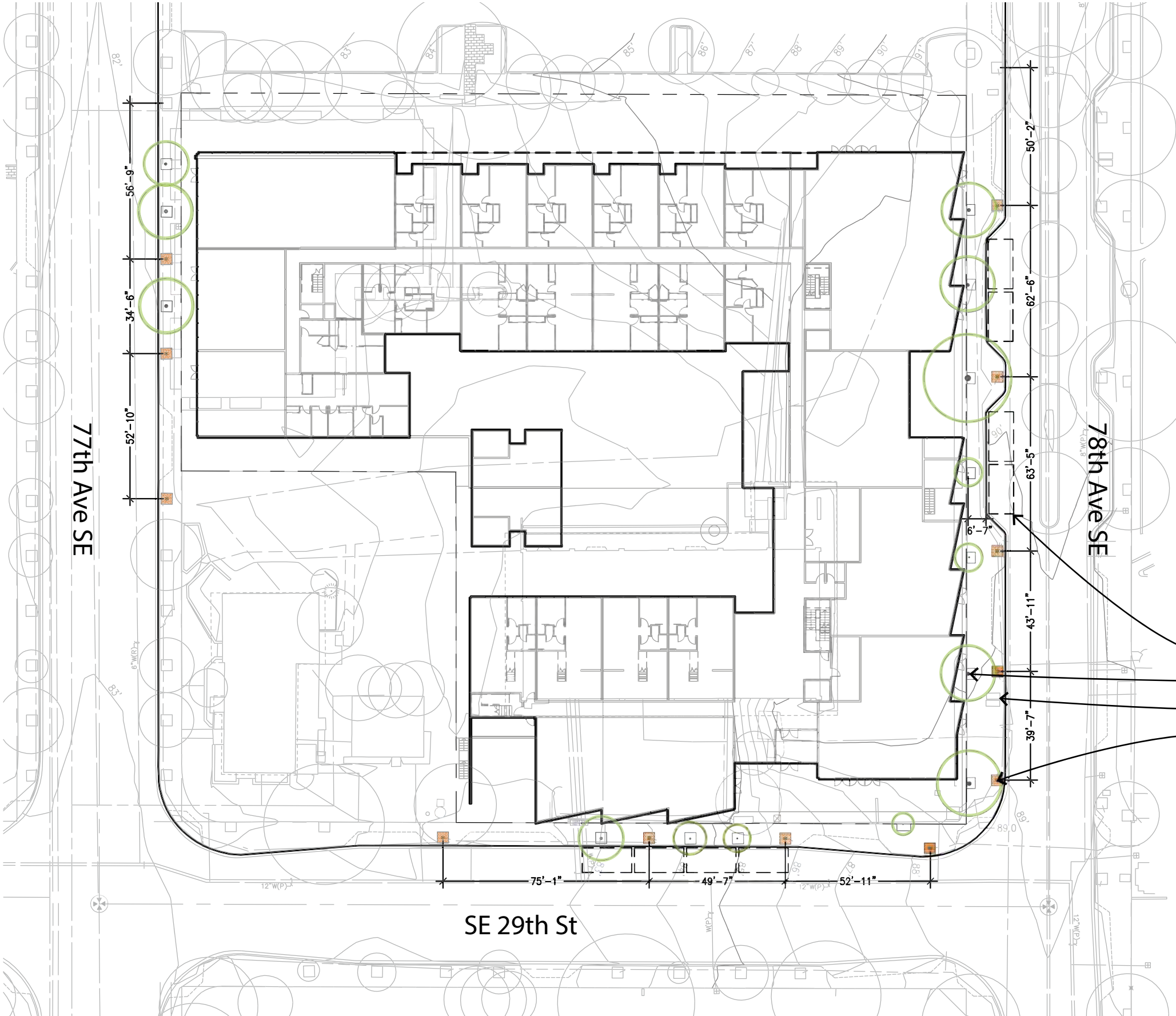


- Metal Vertical Railings
- Recessed Windows
- Lite Neutral Accent
- Dark Window Frames
- Sandstone Blend Brick



- Brown Blend Brick
- Dark Metal Accents
- Wood Accents
- Dark Window Frames

# Existing Streetscape



## 77th Ave SE Existing Streetscape:

- No parallel parking
- 3 trees
- 3 street lights

## 78th Ave SE Existing Streetscape:

- 4 parking spaces
- 7 street trees
- 5 street lights
- 1 bike rack
- 2 benches

## 29th St SE Existing Streetscape:

- 4 parallel parking spaces (between curb cuts)
- 4 street trees
- 4 street lights

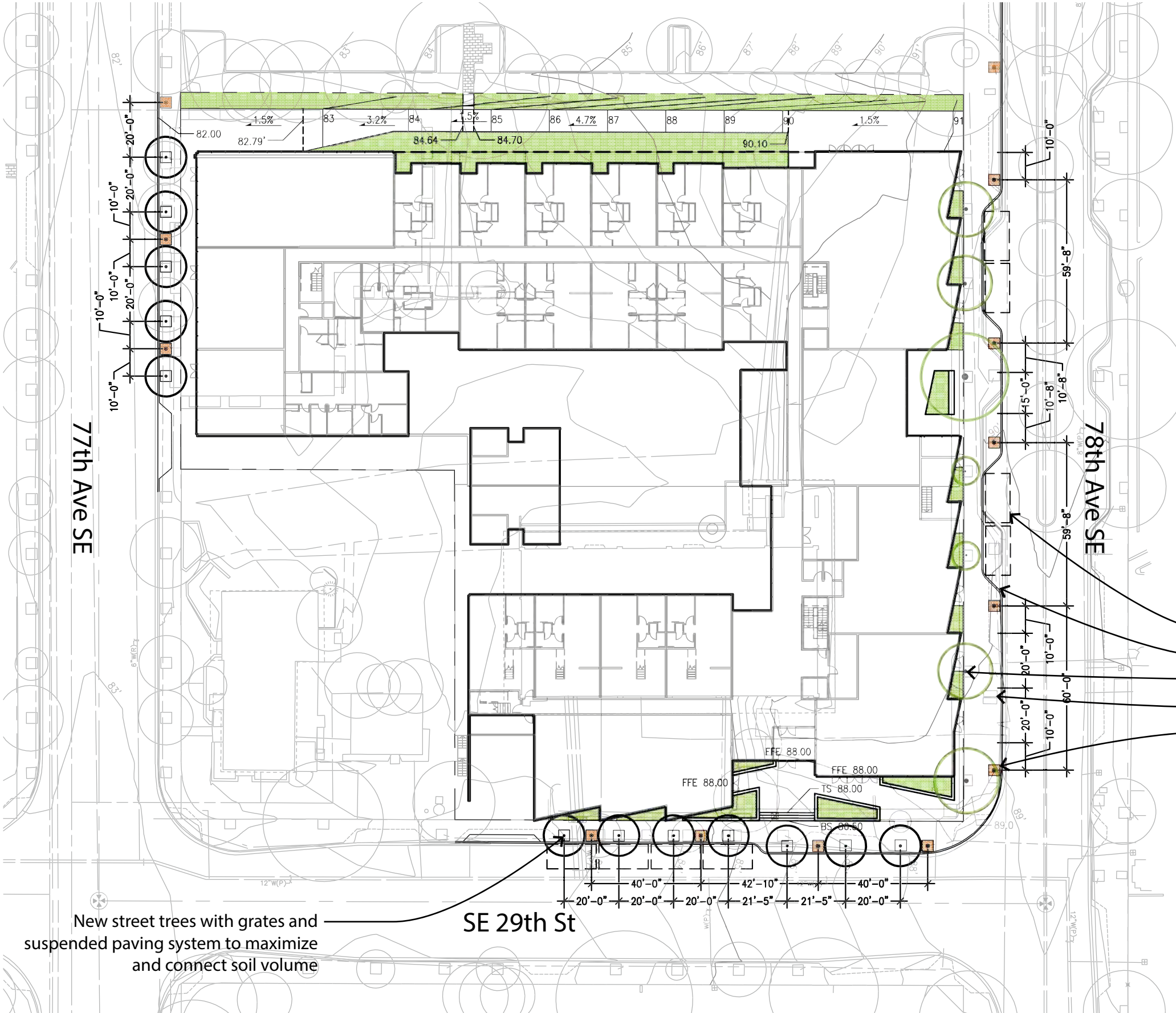
- Parking space, typ.
- Existing tree, typ.
- Existing benches, typ.
- Existing street light typ.



SCALE: 1" = 40'



# New Curbs and Lights, Retain Existing Street Trees on 78th



### 77th Ave SE Existing Streetscape:

- 5 new street trees
- 3 relocated street lights

### 78th Ave SE Existing Streetscape:

- 4 relocated parking spaces
- 7 existing street trees
- 5 relocated street lights
- 1 existing bike rack
- 2 existing benches

### 29th St SE Existing Streetscape:

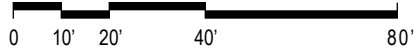
- 4 parallel parking spaces
- 7 new street trees
- 4 relocated street lights

- Relocated parking space, typ.
- New curb, typ.
- Existing tree, typ.
- Existing benches, typ.
- Proposed street lights, typ.

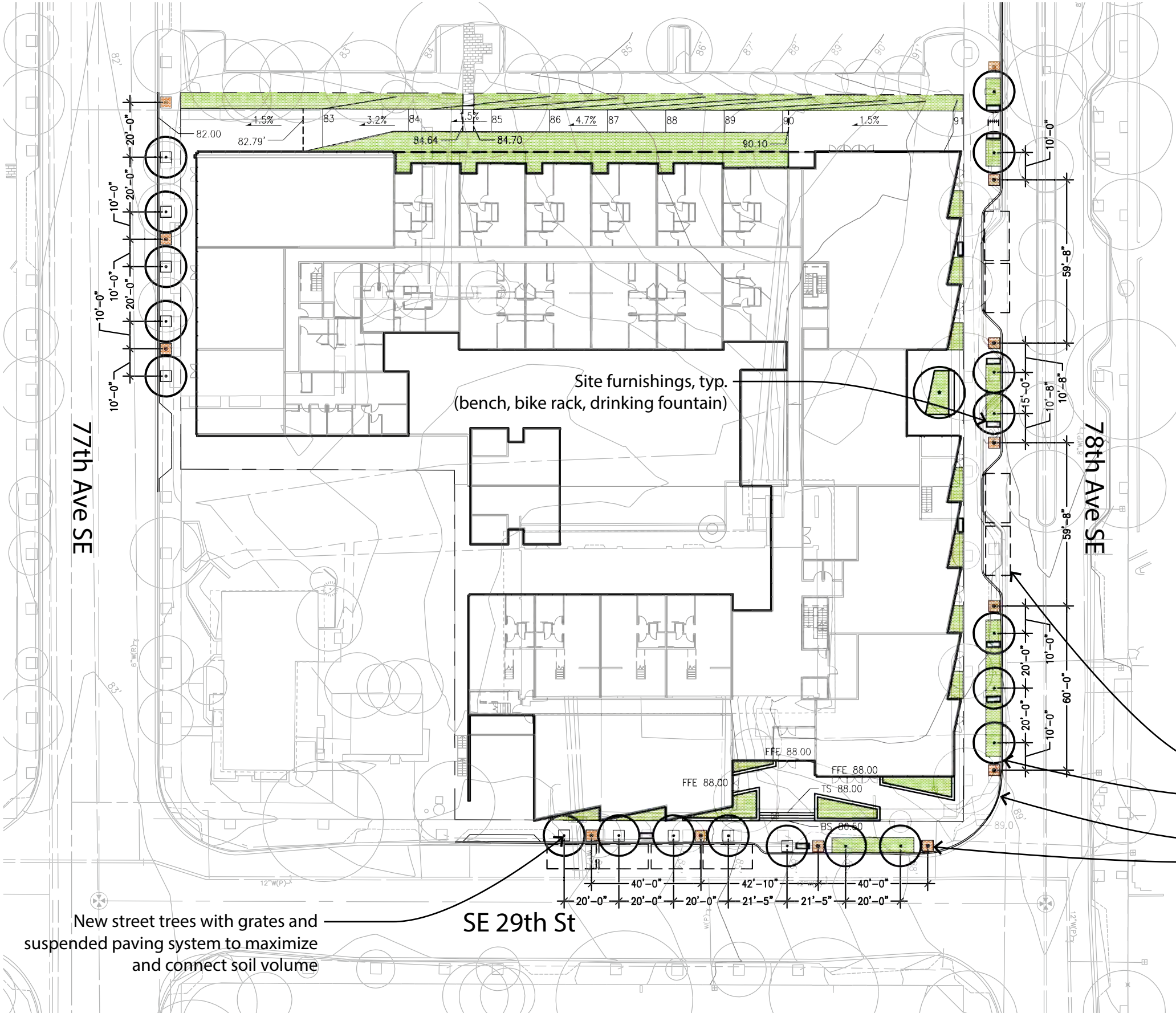
New street trees with grates and suspended paving system to maximize and connect soil volume



SCALE: 1" = 40'



# Proposed Streetscape



## 77th Ave SE Existing Streetscape:

- 5 new street trees
- 3 relocated street lights

## 78th Ave SE Existing Streetscape:

- 4 relocated parking spaces
- 7 new street trees (+1 additional tree planted within property line at entry plaza)
- 5 relocated street lights
- 1 new bike rack
- 9 new benches
- 520 SF of new planting in ROW

## 29th St SE Existing Streetscape:

- 4 parallel parking spaces
- 7 new street trees
- 4 relocated street lights
- 2 new benches
- 165 SF of new planting in ROW

Relocated parking space, typ.

New trees in continuous soil volume suspended paving system

New curb, typ.

Proposed street lights, typ.

TOTAL LANDSCAPED AREA: 5,224 SF



SCALE: 1" = 40'

